



# XAVIER UNIVERSITY BUENGER HALL RENOVATION PHASE 2

3848 SAINT FRANCIS XAVIER WAY  
CINCINNATI, OH 45207

XAVIER  
UNIVERSITY

## CONSTRUCTION DOCUMENTS 03/21/2018



VIEW

### PROJECT DATA:

PROJECT NAME: XAVIER UNIVERSITY BUENGER HALL RENOVATION PHASE 2  
ADDRESS: 3848 SAINT FRANCIS XAVIER WAY CINCINNATI, OH 45207  
PROJECT DESCRIPTION: MECHANICAL RENOVATION OF EXISTING, 4-STORY, PARTIALLY-SPRINKLERED UNIVERSITY DORMITORY  
BASEMENT FLOOR AREA = 11,309 SF  
FIRST FLOOR AREA = 17,953 SF  
SECOND FLOOR AREA = 17,738 SF  
THIRD FLOOR AREA = 17,738 SF  
FOURTH FLOOR AREA = 8,630 SF  
TOTAL FLOOR AREA = 73,368 SF

### BUILDING CODE DATA: OBC-2017

USE AND OCCUPANCY CLASSIFICATION  
PROPOSED USE GROUP: R2 (DORMITORY) - NO CHANGE OF USE

GENERAL BUILDING HEIGHTS AND AREAS  
HEIGHT LIMITATIONS, AREA LIMITATIONS, SEPARATION FOR INCIDENTAL USE AREAS

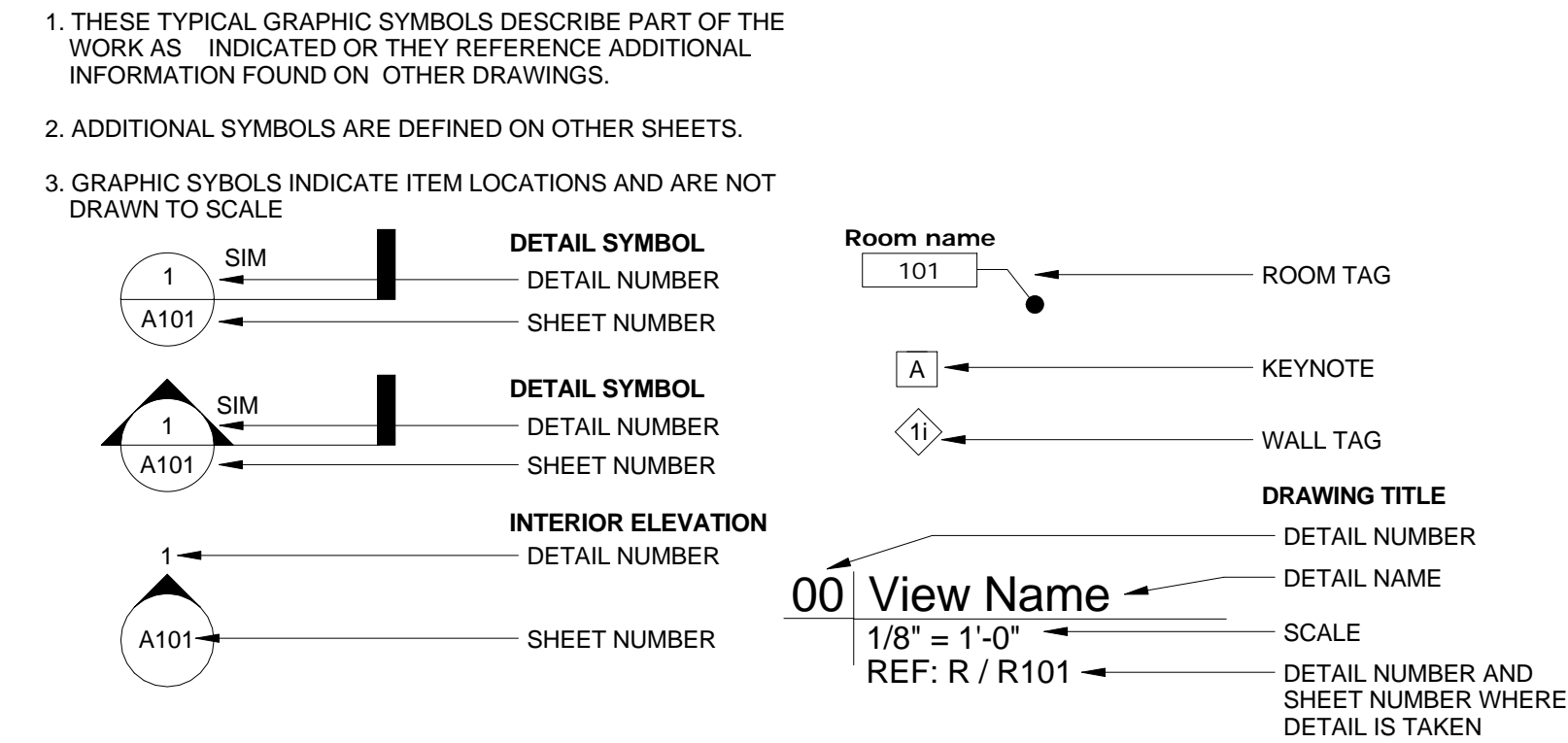
TYPE OF CONSTRUCTION  
CONSTRUCTION TYPE, FIRE RESISTANCE OF STRUCTURAL ELEMENTS

FIRE AND SMOKE PROTECTION FEATURES  
MAX. AREA OF EXTERIOR WALL OPENINGS

INTERIOR FINISHES  
WALL & CEILING FINISH REQUIREMENTS, FLOOR FINISH REQUIREMENTS

FIRE PROTECTION SYSTEMS  
LIMITED AREA SPRINKLER SYSTEM, STANDPIPE SYSTEMS, FIRE ALARM

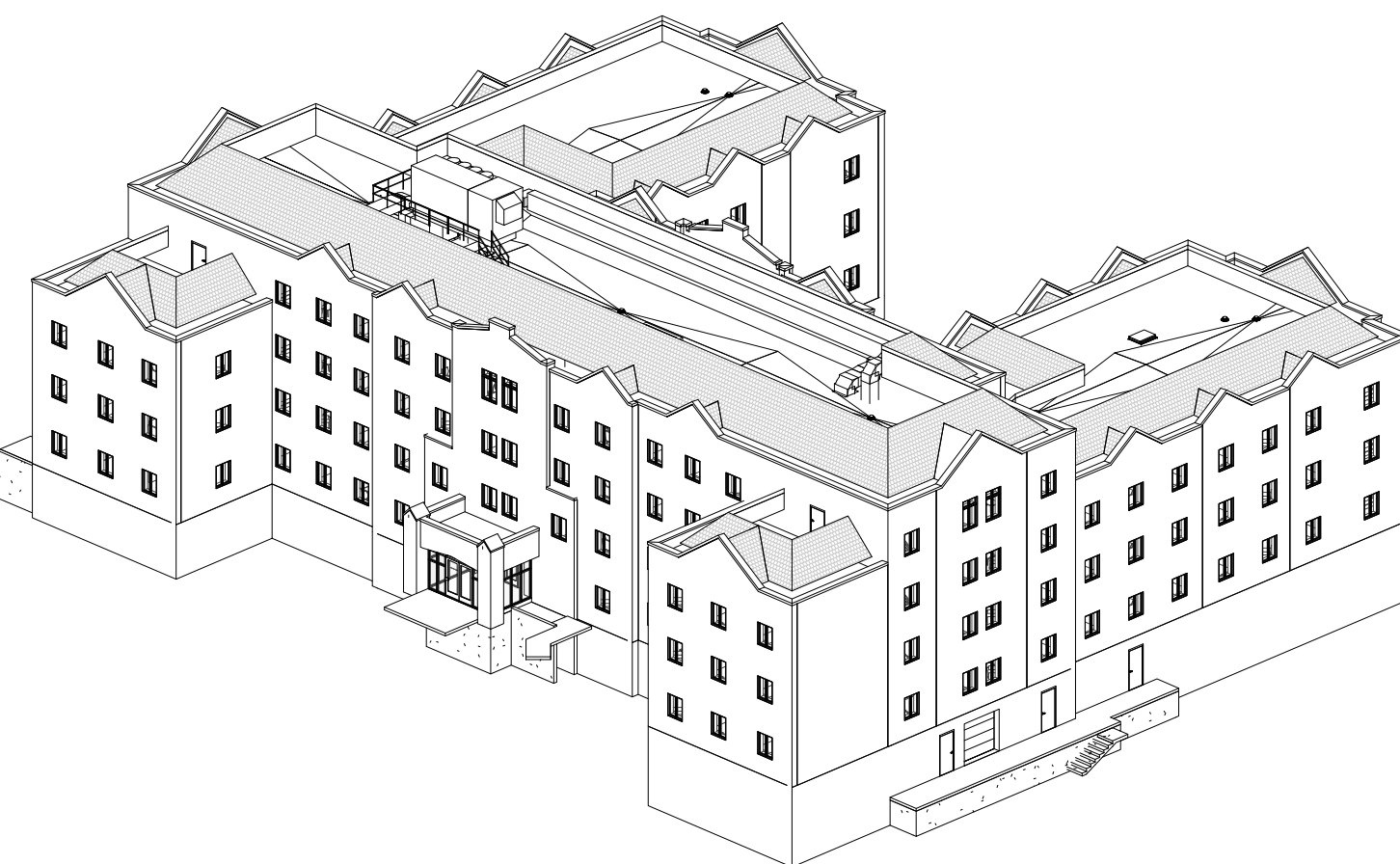
### SYMBOLS LEGEND



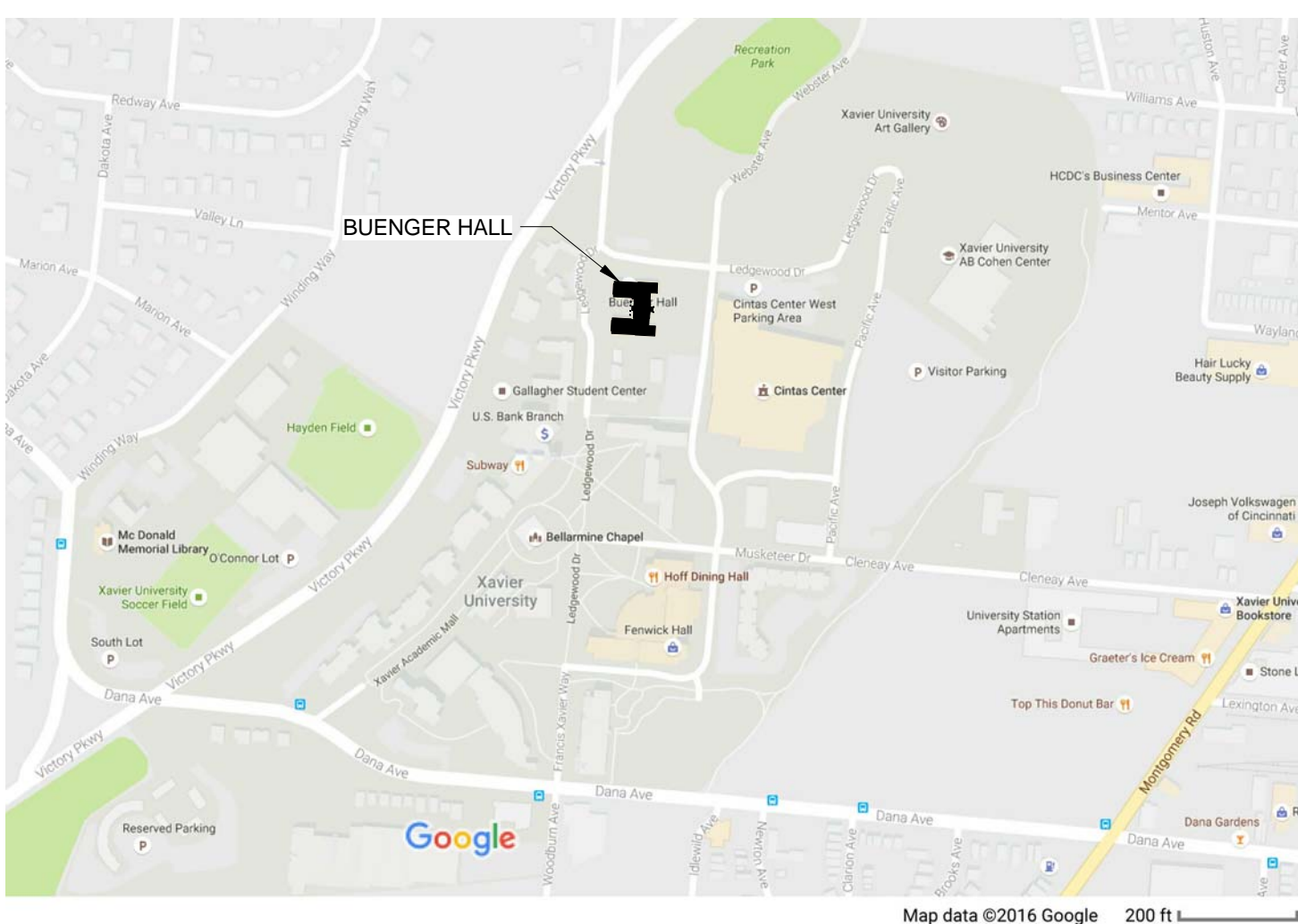
### ABBREVIATIONS

Table of abbreviations for construction materials and components, including AD, GA, PORT CEM, etc.

SHEET LIST table with columns for Sheet Number, Sheet Name, and drawing details.



AXONOMETRIC



VICINITY MAP

### Xavier University Buenger Hall Renovation Phase 2

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
v. (513) 665-9555  
f. (513) 665-9857

glaserworks  
architecture & urban design



### PLUMBING, MECHANICAL & ELECTRICAL ENGINEERS:



Fishbeck, Thompson, Carr & Huber, Inc.  
11353 Reed Hartman Hwy.,  
Suite 500  
Cincinnati, OH 45241  
513-469-2370

SHEET REVISION table with columns for REV #, DATE, and DESCRIPTION.

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### COVER AND PROJECT INFORMATION

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**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
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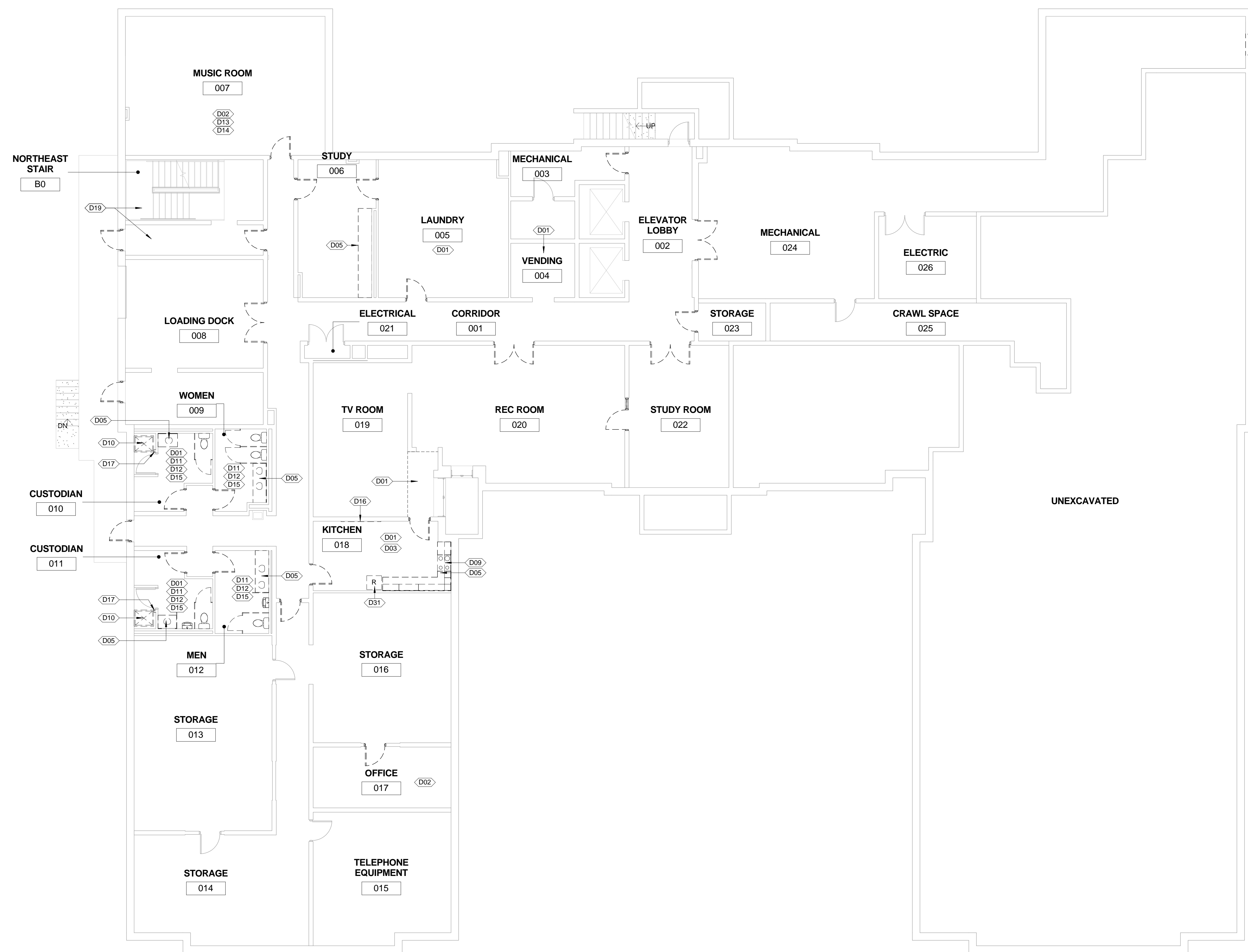
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**GENERAL NOTES - DEMOLITION**

- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- DEMOLISHED AREAS OF WORK WHICH WILL REMAIN EXPOSED AFTER PROJECT IS COMPLETED TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT FINISHES.
- PROTECT EXISTING WORK, FIXTURES, FINISHES, FURNITURE AND APPLIANCES TO REMAIN.
- SEE CEILING DEMOLITION PLANS FOR CEILING DEMOLITION.
- CONSTRUCTION TO BE DEMOLISHED SHOWN AS DASHED LINE.
- SEE DOOR SCHEDULE FOR EXTENT OF DOOR AND FRAME DEMOLITION.
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**KEYNOTES - DEMOLITION**

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D01	REMOVE VINYL FLOOR TILE AND RESILIENT BASE. PREPARE SUBFLOOR FOR NEW FINISH.
D02	REMOVE CARPETING AND RESILIENT BASE. PREPARE SUBFLOOR FOR NEW FINISHES.
D03	REMOVE LOOSE FURNITURE THIS ROOM AND RECYCLE / DISPOSE OF.
D04	EXISTING DISHWASHER TO BE RELOCATED WITHIN SAME ROOM.
D05	REMOVE COUNTERTOP / CASEWORK.
D06	TYPICAL COMMON ROOM: REMOVE CARPET, VCT AND RESILIENT BASE. PREPARE SUBFLOOR FOR NEW FINISHES. REMOVE KITCHENETTE BASE/WALL CABINETS AND COUNTER. REMOVE VANITY CASEWORK AND COUNTER(S). REMOVE TOWEL BARS(S) AT VANITY. VANITY MIRROR(S) TO REMAIN. REMOVE LOOSE FURNISHINGS (TYPICALLY A SOFA, LOUNGE CHAIRS, AND END TABLES) AND RECYCLE OR DISPOSE OF. REFRIGERATOR AND MICROWAVE OVEN TO REMAIN. PROTECT DURING CONSTRUCTION.
D07	TYPICAL SHOWER ROOM: REMOVE SHOWER STALL, SHOWER DOOR, FURRING AND BLOCKING. PREPARE MASONRY ALCOVE TO RECEIVE NEW SHOWER RECEPTOR AND WALL PANELS. REMOVE TOWEL BARS AND TOILET TISSUE HOLDER.
D08	TYPICAL RESTROOM: REMOVE VANITY CASEWORK AND COUNTER. REMOVE TOWEL BARS AND TOILET TISSUE HOLDER. VANITY MIRROR TO REMAIN.
D09	REMOVE RANGE, RANGE EXHAUST HOOD, AND MICROWAVE OVEN. DELIVER TO OWNER.
D10	REMOVE PREFAB. SHOWER STALL, DOOR, FURRING AND BLOCKING PREPARE MASONRY ALCOVE TO RECEIVE NEW SHOWER RECEPTOR AND WALL PANELS.
D11	REMOVE W.C.S.
D12	REMOVE TOILET STALLS/SCREENS.
D13	REMOVE ACOUSTIC WALL PANELS.
D14	REMOVE BATT INSULATION ABOVE CEILING.
D15	REMOVE AND SAVE SOAP, PAPER TOWEL AND TOILET TISSUE DISPENSERS AND WALL-MOUNTED WASTE RECEPTACLE AS REQUIRED TO COMPLETE NEW WORK. REINSTALL AT COMPLETION OF NEW WORK.
D16	REMOVE WALL-MOUNTED TACK BOARD / WHITE BOARD.
D17	REMOVE APPROXIMATELY 4'-LONG CMU WING WALL AT SHOWER ENCLOSURE DOOR.
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D21	REMOVE TOWEL BARS(S) AND TOILET TISSUE HOLDER.
D22	REMOVE SURFACE-MOUNTED ROOM SIGN.
D23	APPLIANCES TO REMAIN. PROTECT DURING CONSTRUCTION AND RE-INSTALL AT COMPLETION OF CONSTRUCTION.
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D30	REMOVE ORIGINAL ROOM SIGN. NEW ROOM SIGN TO REMAIN.
D31	REMOVE REFRIGERATOR AND DELIVER TO OWNER.

**1 | DEMOLITION PLAN - LOWER LEVEL**

1/8" = 1'-0"



CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

REVISION

ISSUE

NOTES

DWG TITLE

SHEET NO.

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**DEMOLITION  
PLAN - LOWER  
LEVEL**

**D200**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

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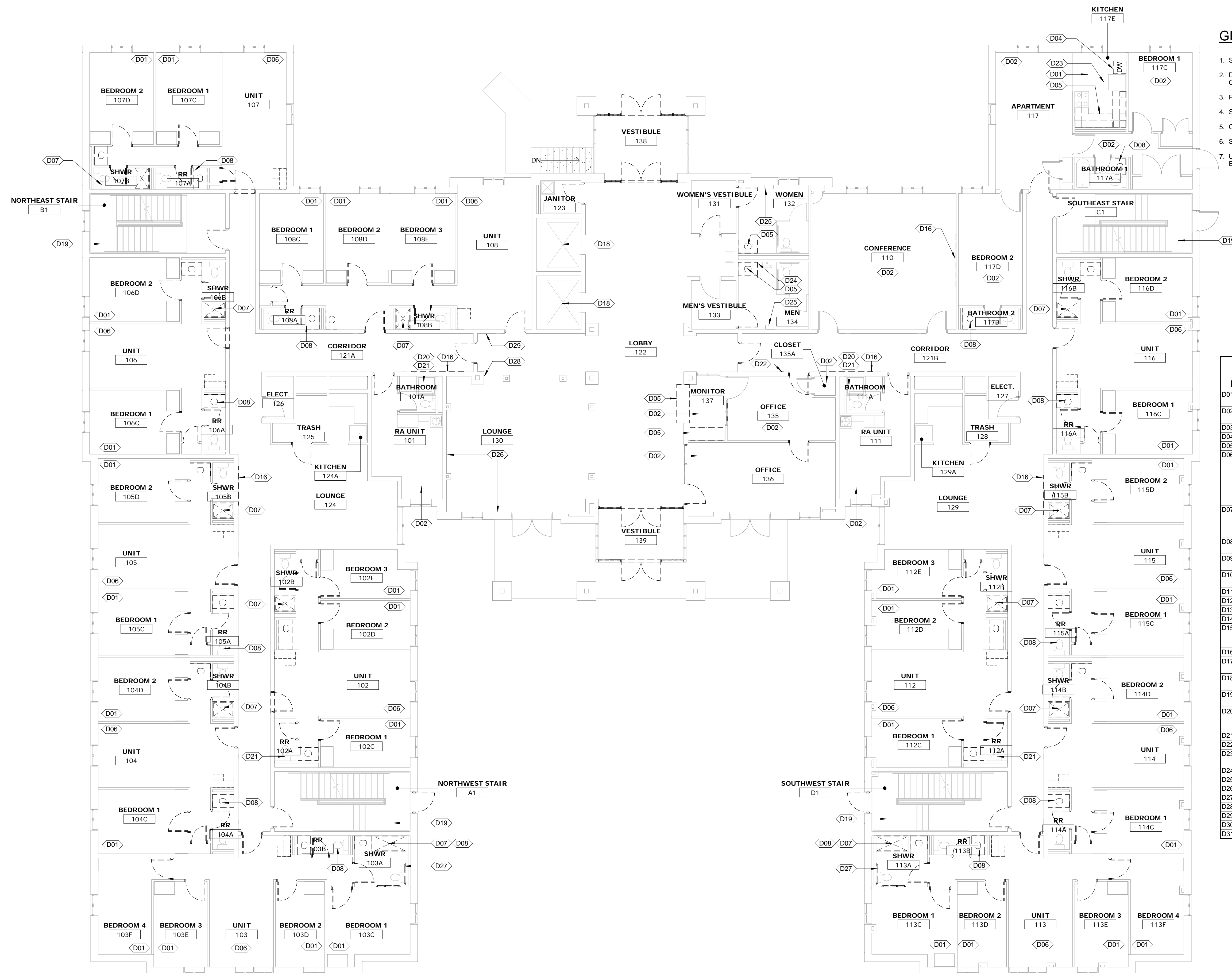
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1 | DEMOLITION PLAN - FIRST FLOOR  
1/8" = 1'-0"



CONSULTANTS ARCHITECT

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**DEMOLITION  
PLAN - FIRST  
FLOOR**

**D201**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

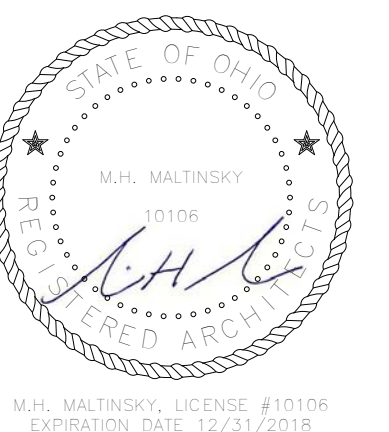
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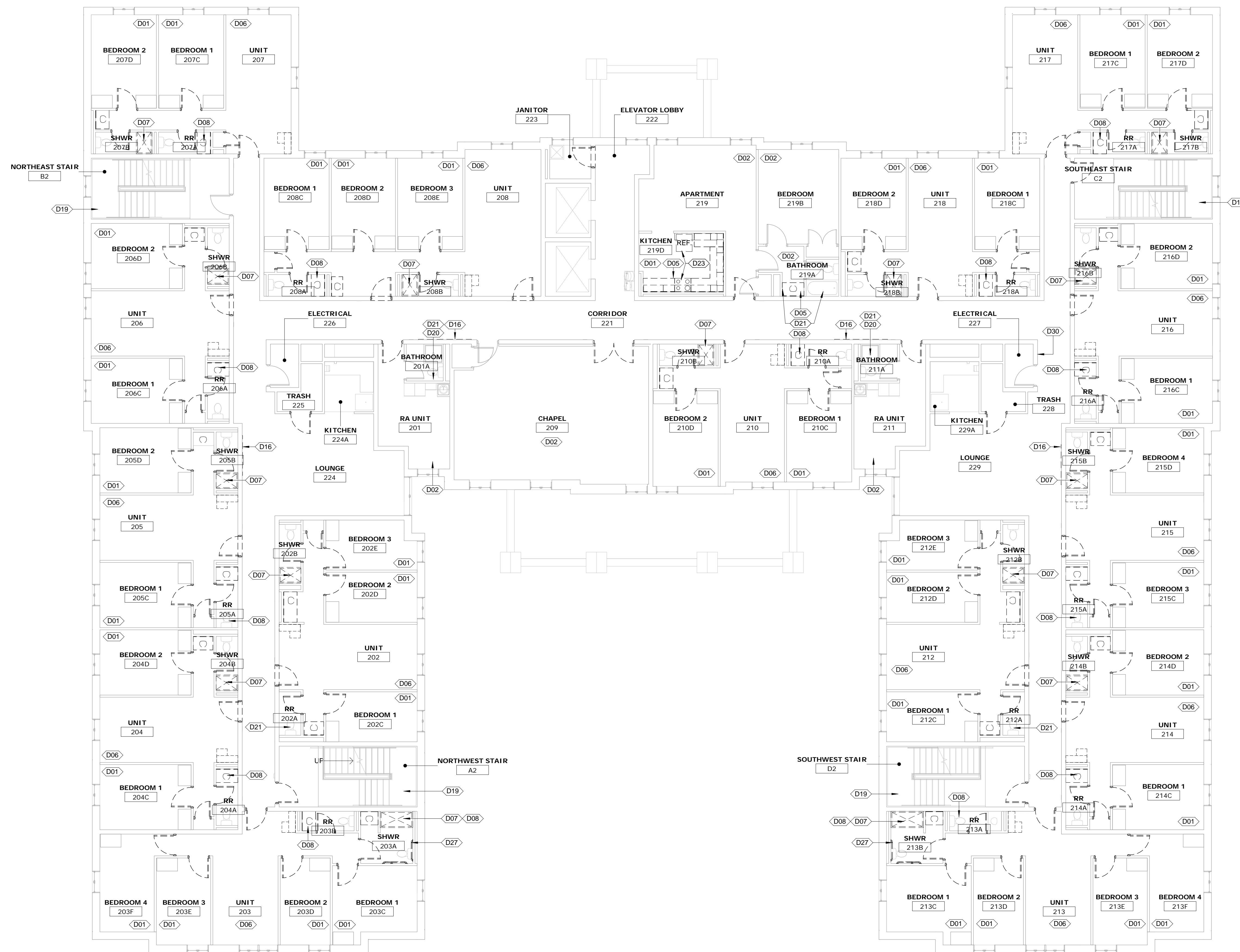


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**1 DEMOLITION PLAN - SECOND FLOOR**  
1/8" = 1'-0"



CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

REVISION

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**DEMOLITION  
PLAN - SECOND  
FLOOR**

**D202**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

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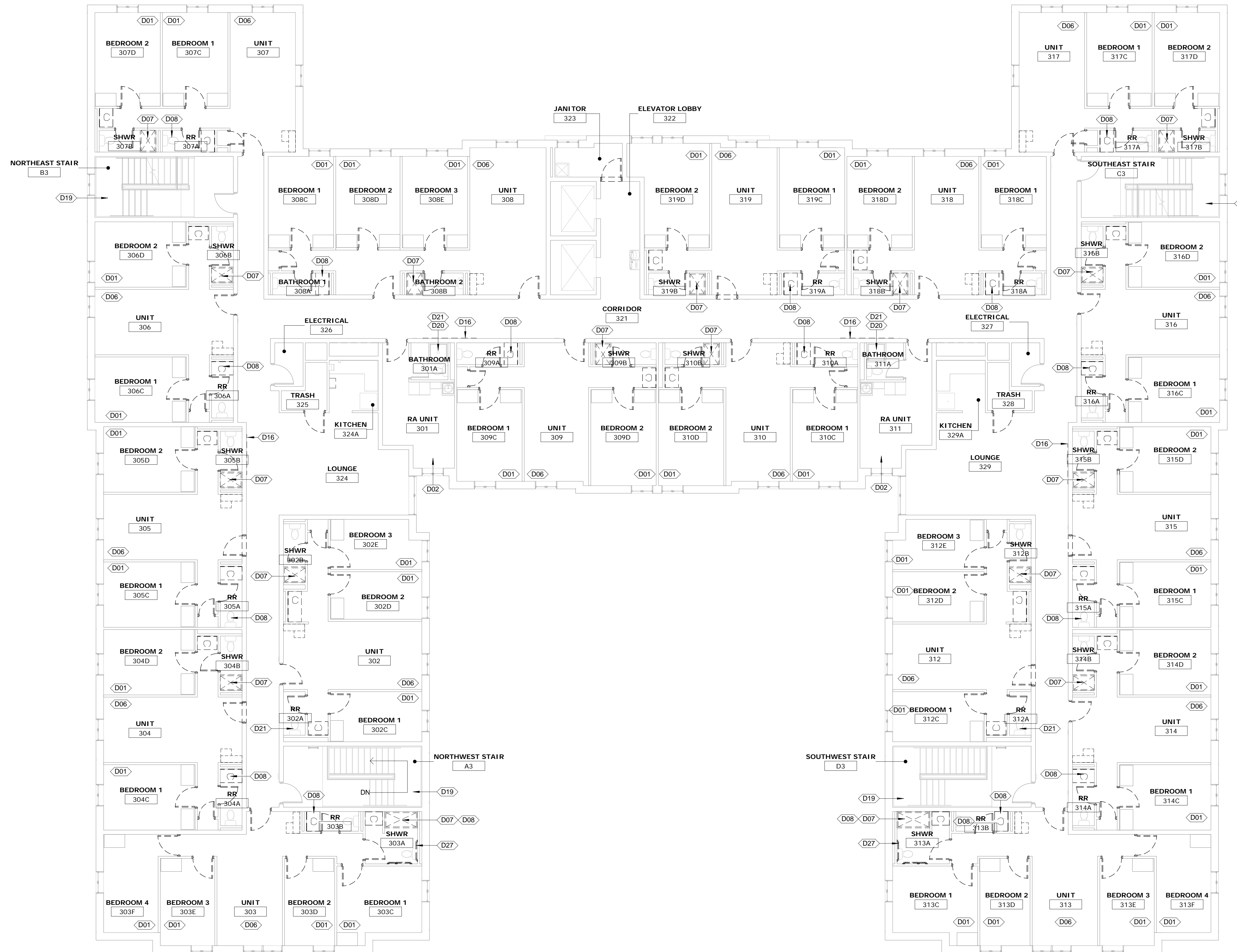
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1 | DEMOLITION PLAN - THIRD FLOOR

1/8" = 1'-0"



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ISSUE

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**DEMOLITION  
PLAN -THIRD  
FLOOR**

**D203**

**Xavier University  
Buenger Hall  
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**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**

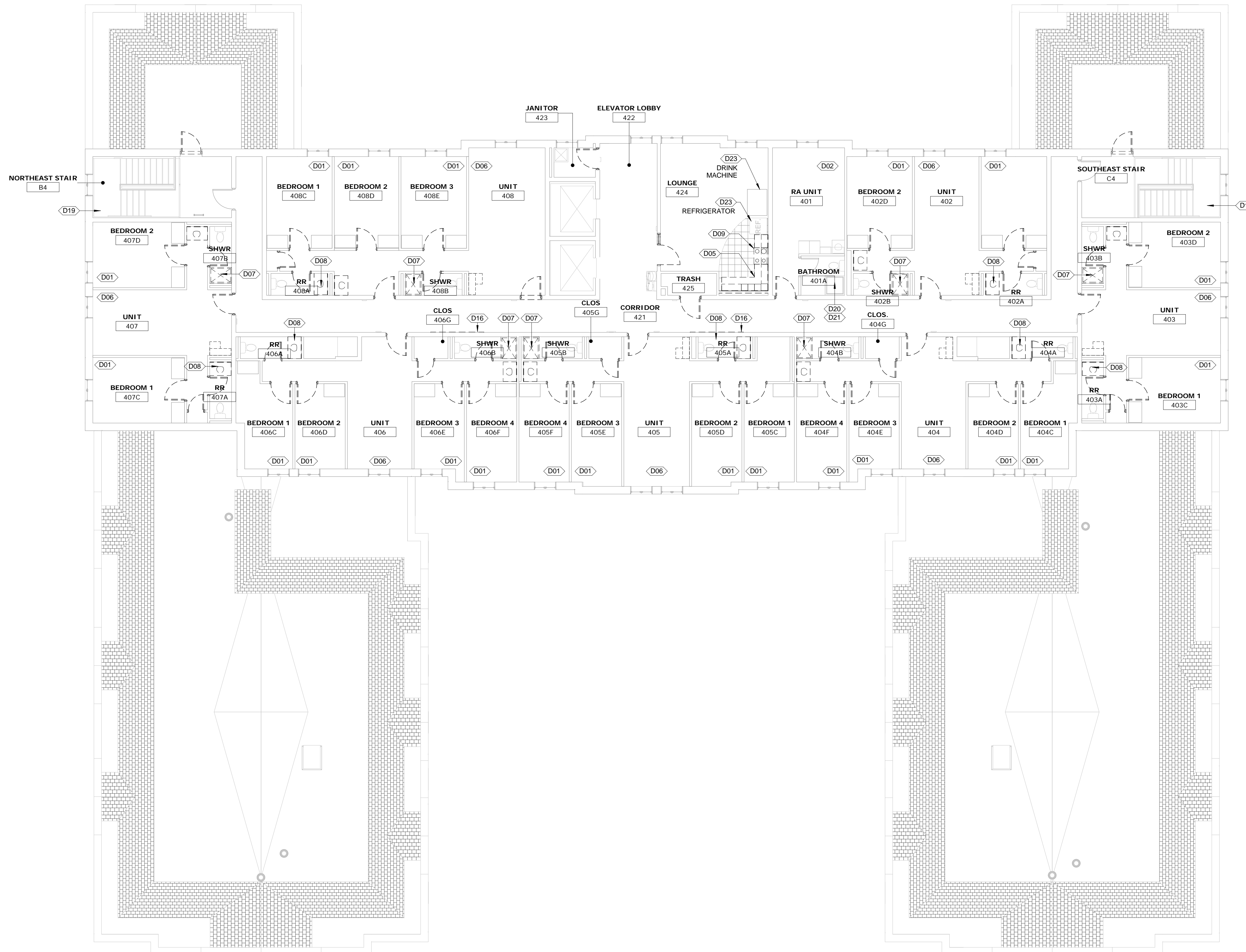


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**GENERAL NOTES - DEMOLITION**

1. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
2. DEMOLISHED AREAS OF WORK WHICH WILL REMAIN EXPOSED AFTER PROJECT IS COMPLETED TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT FINISHES.
3. PROTECT EXISTING WORK, FIXTURES, FINISHES, FURNITURE AND APPLIANCES TO REMAIN.
4. SEE CEILING DEMOLITION PLANS FOR CEILING DEMOLITION.
5. CONSTRUCTION TO BE DEMOLISHED SHOWN AS DASHED LINE.
6. SEE DOOR SCHEDULE FOR EXTENT OF DOOR AND FRAME DEMOLITION.
7. UNLESS SPECIFICALLY NOTED TO BE REMOVED, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN. PROTECT DURING CONSTRUCTION.

KEYNOTES - DEMOLITION	
Number	Keynote
D01	REMOVE VINYL FLOOR TILE AND RESILIENT BASE. PREPARE SUBFLOOR FOR NEW FINISH.
D02	REMOVE CARPETING AND RESILIENT BASE. PREPARE SUBFLOOR FOR NEW FINISHES.
D03	REMOVE LOOSE FURNITURE THIS ROOM AND RECYCLE / DISPOSE OF.
D04	EXISTING DISHWASHER TO BE RELOCATED WITHIN SAME ROOM.
D05	REMOVE COUNTERTOP / CASEWORK.
D06	TYPICAL COMMON ROOM: REMOVE CARPET, VCT AND RESILIENT BASE. PREPARE SUBFLOOR FOR NEW FINISHES. REMOVE KITCHENETTE BASE/WALL CABINETS AND COUNTER. REMOVE VANITY CASEWORK AND COUNTER(S). REMOVE TOWEL BAR(S) AT VANITY. VANITY MIRROR(S) TO REMAIN. REMOVE LOOSE FURNISHINGS (TYPICALLY A SOFA, LOUNGE CHAIRS, AND END TABLES) AND RECYCLE OR DISPOSE OF. REFRIGERATOR AND MICROWAVE OVEN TO REMAIN. PROTECT DURING CONSTRUCTION.
D07	TYPICAL SHOWER ROOM: REMOVE SHOWER STALL, SHOWER DOOR, FURRING AND BLOCKING. PREPARE MASONRY ALCOVE TO RECEIVE NEW SHOWER RECEPTOR AND WALL PANELS. REMOVE TOWEL BARS AND TOILET TISSUE HOLDER.
D08	TYPICAL RESTROOM: REMOVE VANITY CASEWORK AND COUNTER. REMOVE TOWEL BARS AND TOILET TISSUE HOLDER. VANITY MIRROR TO REMAIN.
D09	REMOVE RANGE, RANGE EXHAUST HOOD, AND MICROWAVE OVEN. DELIVER TO OWNER.
D10	REMOVE PREFAB. SHOWER STALL, DOOR, FURRING AND BLOCKING PREPARE MASONRY ALCOVE TO RECEIVE NEW SHOWER RECEPTOR AND WALL PANELS.
D11	REMOVE WC'S.
D12	REMOVE TOILET STALLS/SCREENS.
D13	REMOVE ACOUSTIC WALL PANELS.
D14	REMOVE BATT INSULATION ABOVE CEILING.
D15	REMOVE AND SAVE SOAP, PAPER TOWEL AND TOILET TISSUE DISPENSERS AND WALL-MOUNTED WASTE RECEPTACLE AS REQUIRED TO COMPLETE NEW WORK. REINSTALL AT COMPLETION OF NEW WORK.
D16	REMOVE WALL-MOUNTED TACK BOARD / WHITE BOARD.
D17	REMOVE APPROXIMATELY 4'-LONG CMU WING WALL AT SHOWER ENCLOSURE DOOR.
D18	ELEVATOR CAB: REMOVE VINYL FLOOR TILES, RESILIENT BASE AND P.LAM WALL AND CEILING PANELS. PREPARE SURFACES FOR NEW FINISHES.
D19	REMOVE RESILIENT FLOORING AND TREADRISER COVERS AND PREPARE FOR CLEAN AND PREPARE FOR NEW GLASS DOOR/WALL. REPLACE ANY DAMAGED CERAMIC TILE TO MATCH EXISTING.
D20	REMOVE GLASS SHOWER DOOR/WALL. EXISTING SHOWER PAN TO REMAIN - CLEAN AND PREPARE FOR NEW GLASS DOOR/WALL. REPLACE ANY DAMAGED CERAMIC TILE TO MATCH EXISTING.
D21	REMOVE TOWEL BAR(S) AND TOILET TISSUE HOLDER.
D22	REMOVE SURFACE-MOUNTED ROOM SIGN.
D23	APPLIANCES TO REMAIN. PROTECT DURING CONSTRUCTION AND RE-INSTALL AT COMPLETION OF CONSTRUCTION.
D24	REMOVE URINAL SCREEN.
D25	REMOVE WALL-MOUNTED WASTE RECEPTACLE.
D26	REMOVE WALL COVERING AND PREPARE SUBSTRATE FOR NEW FINISHES.
D27	REMOVE GRAB BARS.
D28	REMOVE TACK STRIPS.
D29	EXISTING TACK STRIPS TO REMAIN.
D30	REMOVE ORIGINAL ROOM SIGN. NEW ROOM SIGN TO REMAIN.
D31	REMOVE REFRIGERATOR AND DELIVER TO OWNER.



1 | DEMOLITION PLAN - FOURTH FLOOR  
1/8" = 1'-0"



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03/21/2018	CONSTRUCTION DOCUMENTS

**DEMOLITION  
PLAN - FOURTH  
FLOOR**

**D204**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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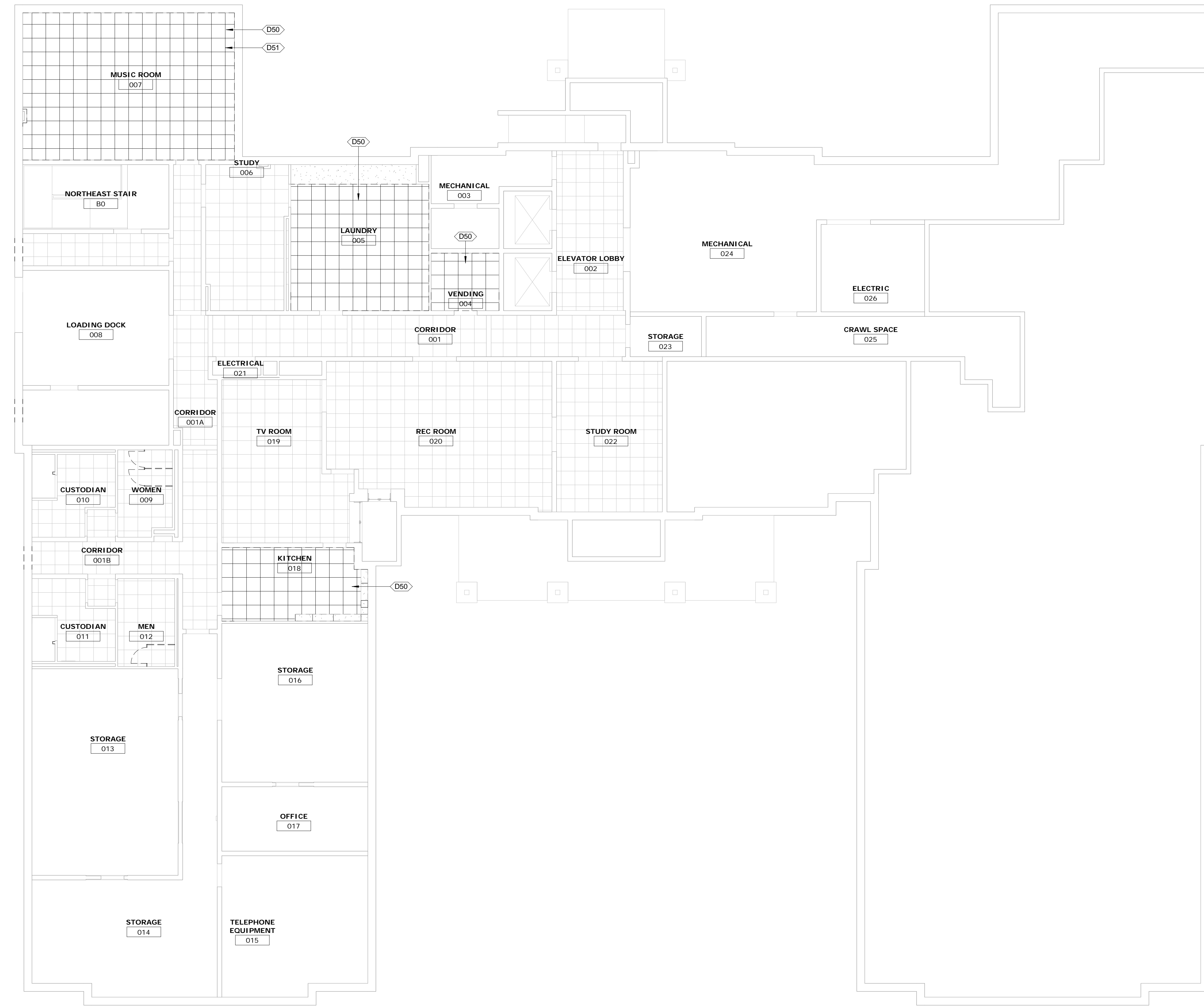


M.H. MALTINSKY, LICENSE #10106  
EXPIRATION DATE: 12/31/2018

**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**



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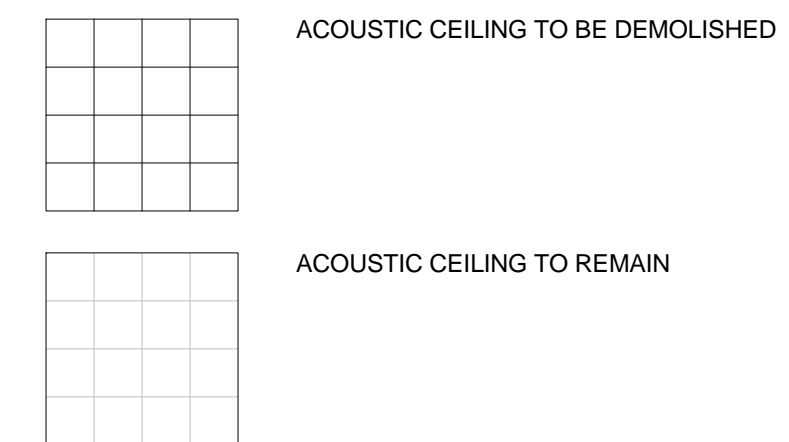
**GENERAL NOTES - CEILING DEMOLITION**

1. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
2. DEMOLISHED AREAS OF WORK WHICH WILL REMAIN EXPOSED AFTER PROJECT IS COMPLETE TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT FINISHES.
3. PROTECT EXISTING WORK, FIXTURES, FINISHES, FURNITURE AND APPLIANCES TO REMAIN.
4. UNLESS OTHERWISE NOTED, EXISTING GWB CEILINGS AND SOFFITS TO REMAIN.
5. REMOVE AND REINSTALL ACOUSTIC CEILING TILES AS REQUIRED AND TO MINIMUM EXTENT POSSIBLE TO COMPLETE LIMITED DUCT REPLACEMENT. SEE MECHANICAL DRAWINGS.
6. UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION FLOOR PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN. PROTECT DURING CONSTRUCTION.

**KEYNOTES - CEILING DEMOLITION**

Number	Keynote
D50	REMOVE ACOUSTICAL CEILING TILE AND GRID SUSPENSION SYSTEM.
D51	REMOVE ACOUSTIC BATT INSULATION ABOVE CEILING.

**LEGEND - CEILING DEMOLITION**



**1 | CEILING DEMOLITION PLAN - LOWER LEVEL**  
1/8" = 1'-0"



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NOTES

DWG TITLE

**CEILING  
DEMOLITION  
PLAN - LOWER  
LEVEL**

SHEET NO.

**D220**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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ELECTRICAL ENGINEERS:**



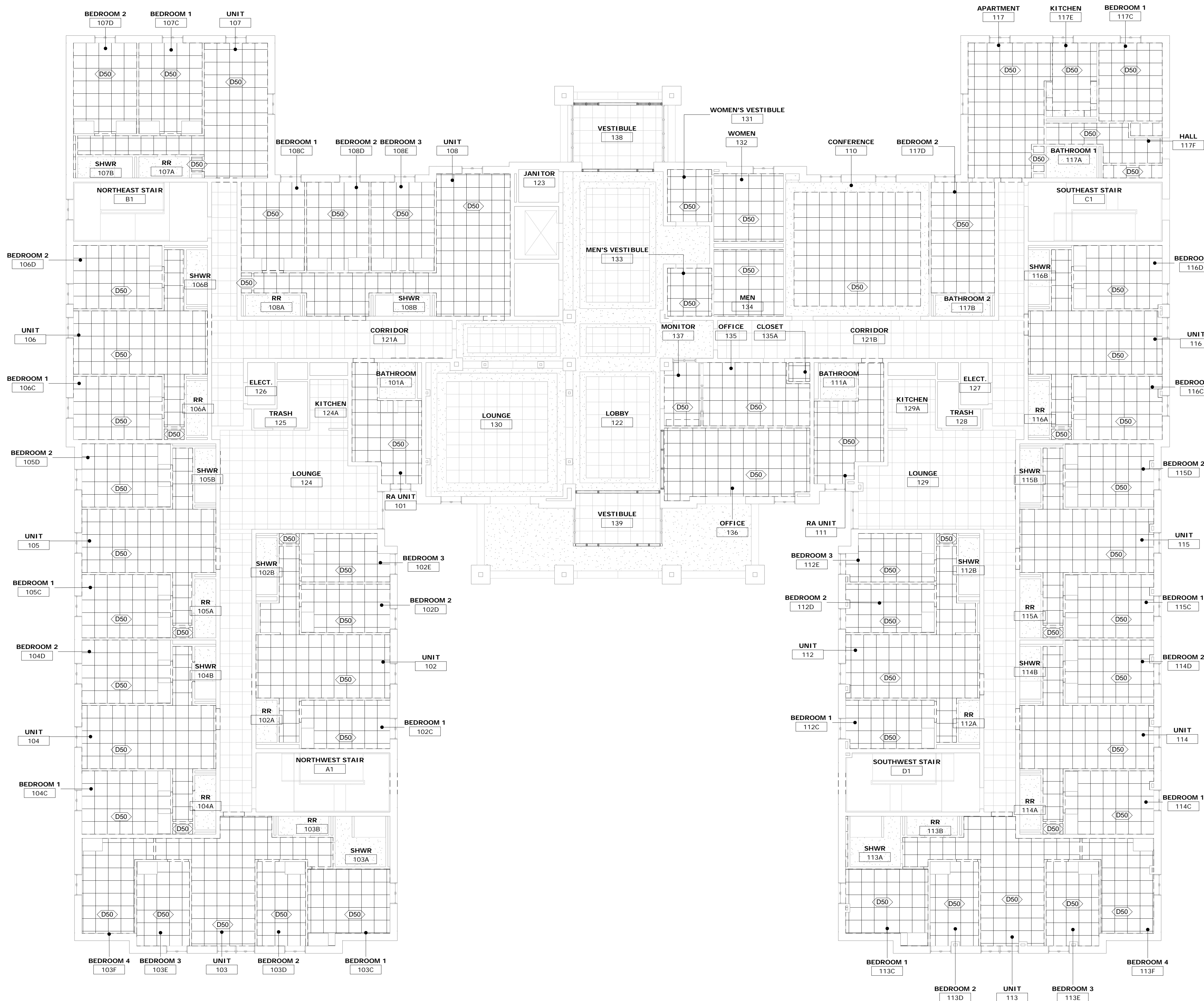
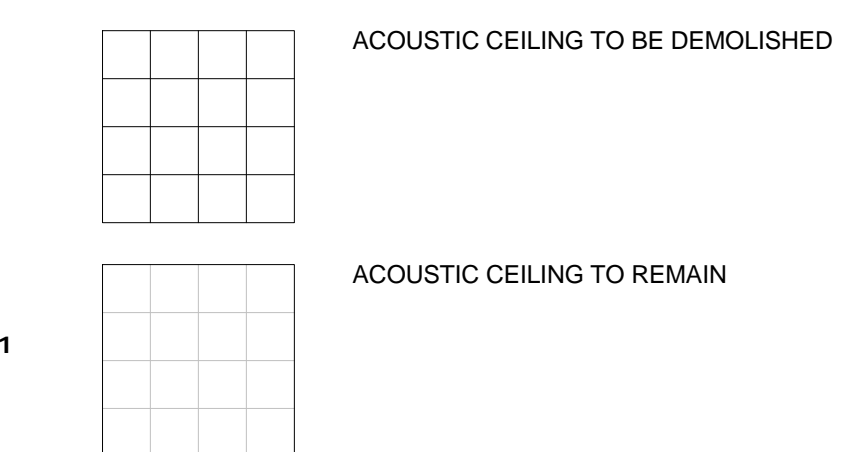
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**GENERAL NOTES - CEILING DEMOLITION**

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- DEMOLISHED AREAS OF WORK WHICH WILL REMAIN EXPOSED AFTER PROJECT IS COMPLETE TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT FINISHES.
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- UNLESS OTHERWISE NOTED, EXISTING GWB CEILINGS AND SOFFITS TO REMAIN.
- REMOVE AND REINSTALL ACOUSTIC CEILING TILES AS REQUIRED AND TO MINIMUM EXTENT POSSIBLE TO COMPLETE LIMITED DUCT REPLACEMENT. SEE MECHANICAL DRAWINGS.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION FLOOR PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN. PROTECT DURING CONSTRUCTION.

KEYNOTES - CEILING DEMOLITION	
Number	Keynote
D50	REMOVE ACOUSTICAL CEILING TILE AND GRID SUSPENSION SYSTEM.
D51	REMOVE ACOUSTIC BATT INSULATION ABOVE CEILING.

**LEGEND - CEILING DEMOLITION**



**1 | CEILING DEMOLITION PLAN - FIRST FLOOR**  
1/8" = 1'-0"



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**CEILING  
DEMOLITION  
PLAN - FIRST  
FLOOR**

**D221**



# Xavier University Buenger Hall Renovation Phase 2

3848 Saint Francis Xavier Way  
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Project #: 17018



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## GENERAL NOTES - CEILING DEMOLITION

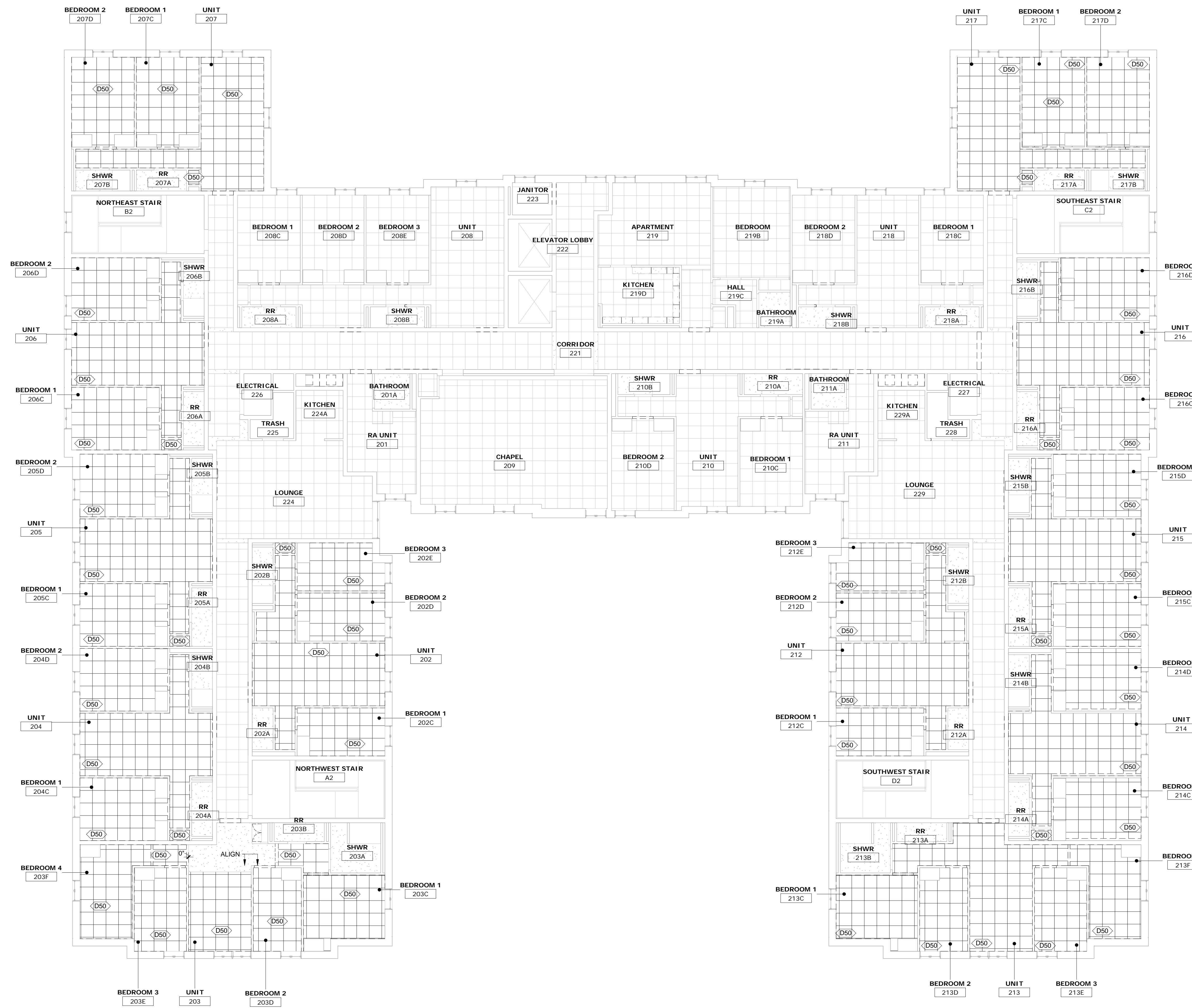
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- PROTECT EXISTING WORK, FIXTURES, FINISHES, FURNITURE AND APPLIANCES TO REMAIN.
- UNLESS OTHERWISE NOTED, EXISTING GWB CEILINGS AND SOFFITS TO REMAIN.
- REMOVE AND REINSTALL ACOUSTIC CEILING TILES AS REQUIRED AND TO MINIMUM EXTENT POSSIBLE TO COMPLETE LIMITED DUCT REPLACEMENT. SEE MECHANICAL DRAWINGS.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION FLOOR PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN. PROTECT DURING CONSTRUCTION.

## KEYNOTES - CEILING DEMOLITION

Number	Keynote
D50	REMOVE ACOUSTICAL CEILING TILE AND GRID SUSPENSION SYSTEM.
D51	REMOVE ACOUSTIC BATT INSULATION ABOVE CEILING.

## LEGEND - CEILING DEMOLITION

	ACOUSTIC CEILING TO BE DEMOLISHED
	ACOUSTIC CEILING TO REMAIN



1 | CEILING DEMOLITION PLAN - SECOND FLOOR  
1/8" = 1'-0"



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DWG TITLE

**CEILING  
DEMOLITION  
PLAN - SECOND  
FLOOR**

SHEET NO.

**D222**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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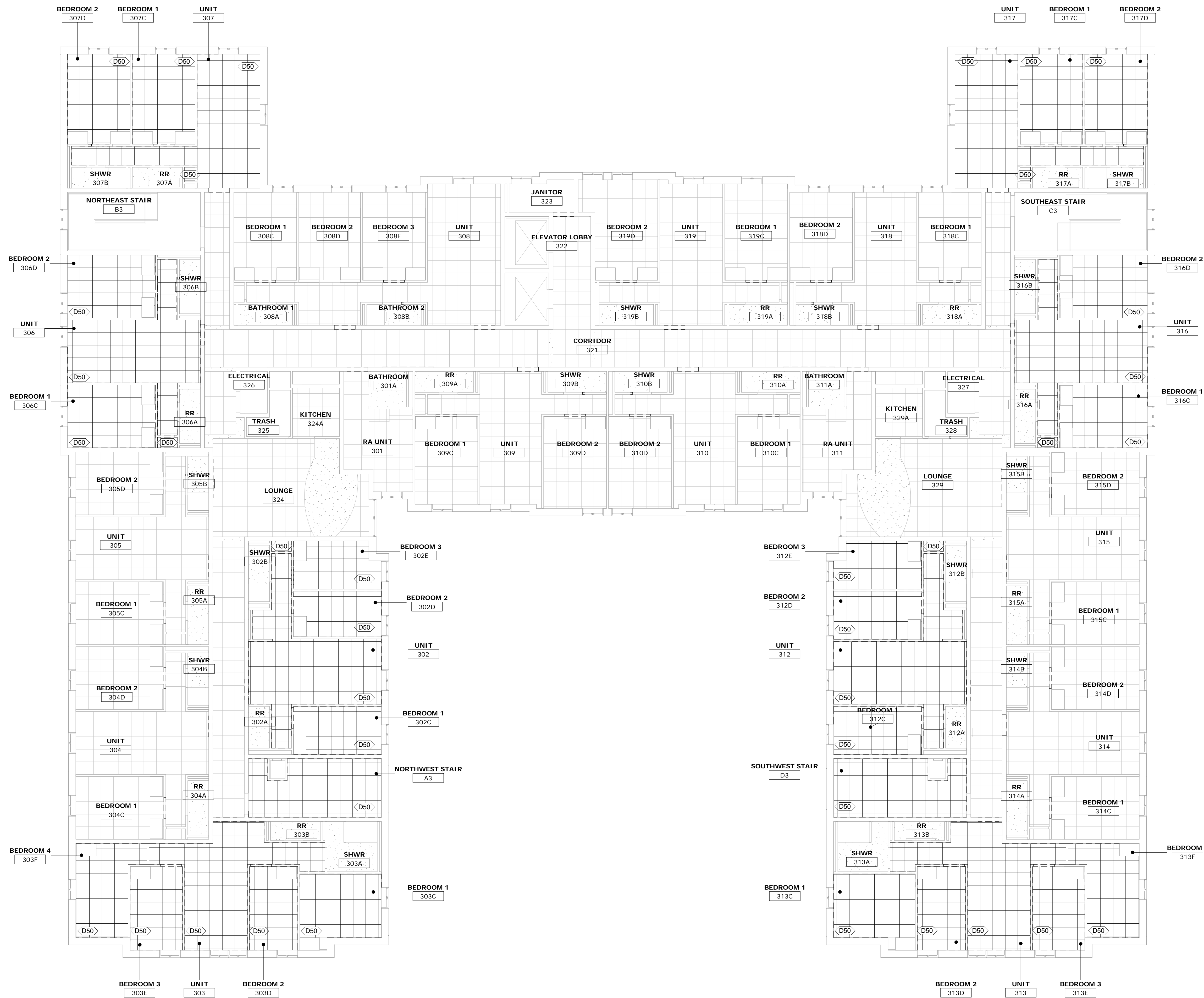
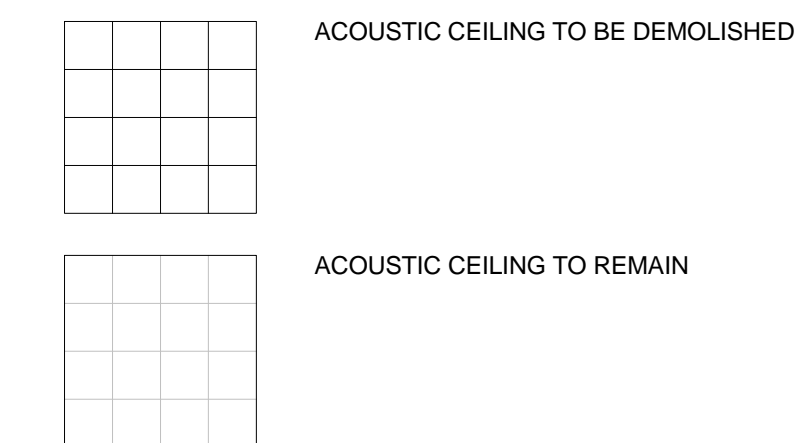
**GENERAL NOTES - CEILING DEMOLITION**

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- REMOVE AND REINSTALL ACOUSTIC CEILING TILES AS REQUIRED AND TO MINIMUM EXTENT POSSIBLE TO COMPLETE LIMITED DUCT REPLACEMENT. SEE MECHANICAL DRAWINGS.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION FLOOR PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN. PROTECT DURING CONSTRUCTION.

**KEYNOTES - CEILING DEMOLITION**

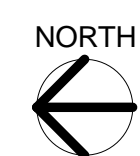
Number	Keynote
D50	REMOVE ACOUSTICAL CEILING TILE AND GRID SUSPENSION SYSTEM.
D51	REMOVE ACOUSTIC BATT INSULATION ABOVE CEILING.

**LEGEND - CEILING DEMOLITION**



**1 | CEILING DEMOLITION PLAN - THIRD FLOOR**

1/8" = 1'-0"



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DWG TITLE

**CEILING  
DEMOLITION  
PLAN - THIRD  
FLOOR**

SHEET NO.

**D223**

# Xavier University Buenger Hall Renovation Phase 2

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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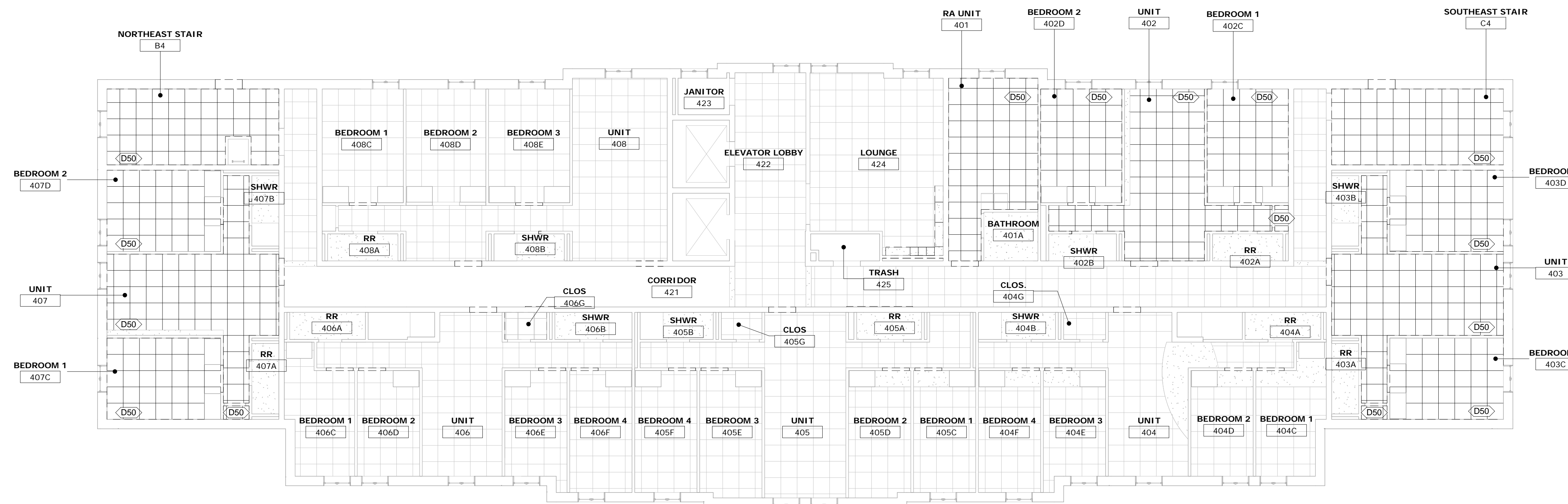
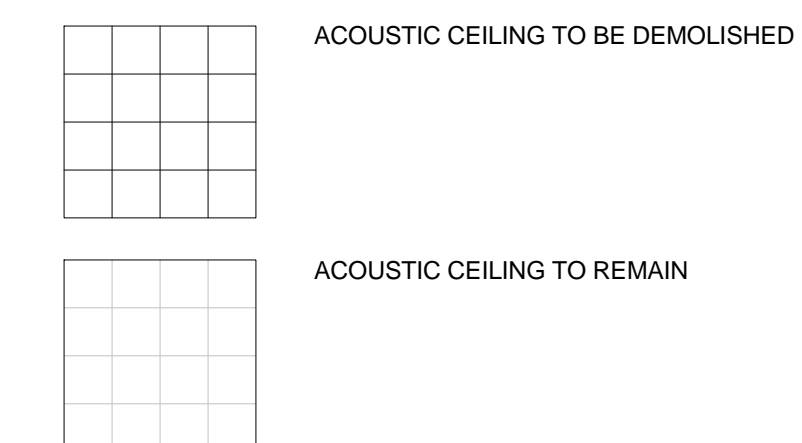
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## GENERAL NOTES - CEILING DEMOLITION

- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- DEMOLISHED AREAS OF WORK WHICH WILL REMAIN EXPOSED AFTER PROJECT IS COMPLETE TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT FINISHES.
- PROTECT EXISTING WORK, FIXTURES, FINISHES, FURNITURE AND APPLIANCES TO REMAIN.
- UNLESS OTHERWISE NOTED, EXISTING GWB CEILINGS AND SOFFITS TO REMAIN.
- REMOVE AND REINSTALL ACOUSTIC CEILING TILES AS REQUIRED AND TO MINIMUM EXTENT POSSIBLE TO COMPLETE LIMITED DUCT REPLACEMENT. SEE MECHANICAL DRAWINGS.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION FLOOR PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN. PROTECT DURING CONSTRUCTION.

KEYNOTES - CEILING DEMOLITION	
Number	Keynote
D50	REMOVE ACOUSTICAL CEILING TILE AND GRID SUSPENSION SYSTEM.
D51	REMOVE ACOUSTIC BATT INSULATION ABOVE CEILING.

## LEGEND - CEILING DEMOLITION



1 | CEILING DEMOLITION PLAN - FOURTH FLOOR  
1/8" = 1'-0"



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NOTES

DWG TITLE

**CEILING  
DEMOLITION  
PLAN - FOURTH  
FLOOR**

SHEET NO.

**D224**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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**GENERAL NOTES - FLOOR PLANS**

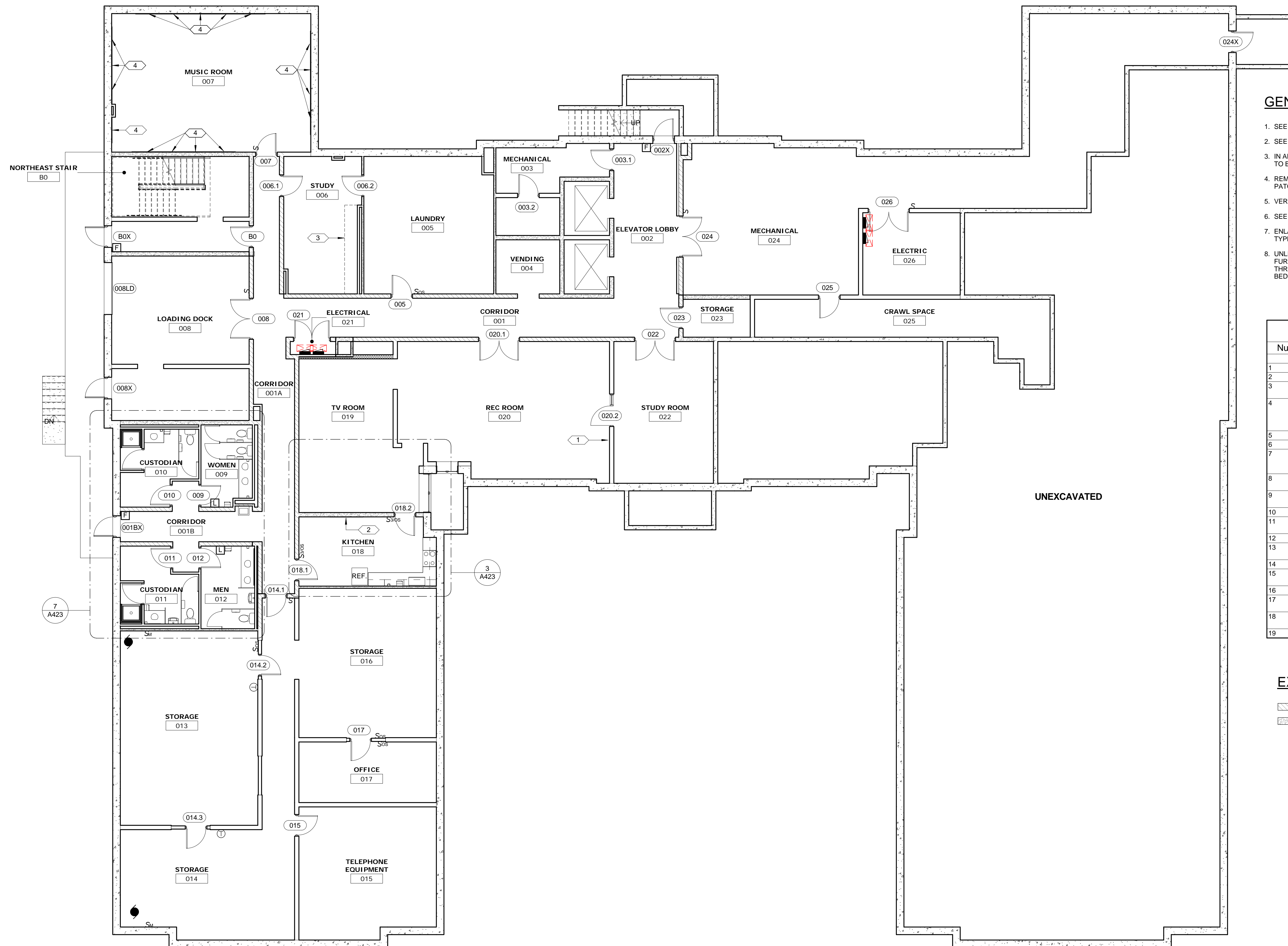
1. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. IN AREAS OF NEW WORK IN EXISTING FLOORS, WALLS AND CEILINGS, EXISTING SURFACES TO BE PATCHED, FINISHED AND PAINTED TO MATCH EXISTING.
4. REMOVE ALL MISCELLANEOUS UNUSED FASTENERS, TAPE, SLEEVES, INSERTS, ETC. AND PATCH WALL / CEILING PRIOR TO PAINTING.
5. VERIFY DIMENSIONS AND EXISTING CONDITIONS IN FIELD.
6. SEE A700 SERIES DRAWINGS FOR BUILDING SIGNAGE.
7. ENLARGED UNIT PLANS APPLY TO ALL UNITS OF SAME TYPE AND OPPOSITE HAND OF SAME TYPE THROUGHOUT THE BUILDING.
8. UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO SUCH IN BEDROOMS, LOUNGES, PUBLIC AREAS, OFFICES AND CONFERENCE ROOMS.

**KEYNOTES - FLOOR PLANS**

Number	Keynote
1	REPAIR HOLE IN GWB.
2	48"H. x 60"W. WHITE BOARD MOUNTED 36" AFF.
3	REPLACE CARPET TILE WHERE CASEWORK DEMOLISHED. MATCH EXISTING CARPET.
4	2' T. x 48"W x 80"H FABRIC COVERED ACOUSTIC WALL PANEL BY ALUMINUM OR APPROVED EQUAL. NRC-1.0. Z-CLIP MOUNT. FABRIC TO BE CHOSEN BY ARCHITECT FROM MFR'S. FULL RANGE. ALIGN BOTTOM EDGE OF PANEL WITH TOP OF RESILIENT BASE.
5	48"H. x 72"W. TACK BOARD MOUNTED 36" AFF.
6	48"H. x 96"W. TACK BOARD MOUNTED 36" AFF.
7	NEW ABUSE RESISTANT WALL COVERING FROM TOP OF WOOD WAINSCOT TO CEILING (SEE FINISH SCHEDULE). PATCH HOLES IN GWB PRIOR TO INSTALLING.
8	NEW FLOOR, WALL AND CEILING FINISHES IN ELEVATOR CABS - SEE PROJECT MANUAL.
9	REPAIR/REPLACE BROKEN NUMBERS ON COMBINATION SIGN/TACK BOARD.
10	REPAIR DAMAGED GWB AT UNIT VENTILATORS PRIOR TO PAINTING.
11	REPAIR/REPLACE APPROXIMATELY 45 LF WOOD RUNNING BASE AND CHAIR RAIL TRIM THAT IS LOOSE OR MISSING.
12	EXTEND EXISTING WOOD BASE TO UNIT VENTILATORS.
13	REPLACE MISSING/BROKEN TILE BASE AT TRANSACTION COUNTER TO MATCH EXISTING.
14	REPLACE MISSING FACE PLATE AT ELECTRICAL OUTLET.
15	REPLACE CT FLOOR TILE AROUND WC AND RESEAL BASE OF WC. MATCH EXISTING TILE.
16	96"W. x 48"H. WHITE BOARD MOUNTED 36" AFF.
17	REMOVE RUST FROM STAIR STRINGERS AND PRIME PRIOR TO PAINTING.
18	CLEAN AND PAINT AREA WHERE SIGNAGE REMOVED IN EARLIER CONSTRUCTION PHASE.
19	REPLACE MISSING RESILIENT BASE. MATCH EXISTING.

**EXISTING FIRE RESISTANCE RATINGS**

- EXISTING 1-HOUR FIRE RESISTANCE RATED PARTITION
- EXISTING 2-HOUR FIRE RESISTANCE RATED WALL



**1 FLOOR PLAN - LOWER LEVEL**  
1/8" = 1'-0"  
REF: 1 / A301



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**FLOOR PLAN -  
LOWER LEVEL**

**A200**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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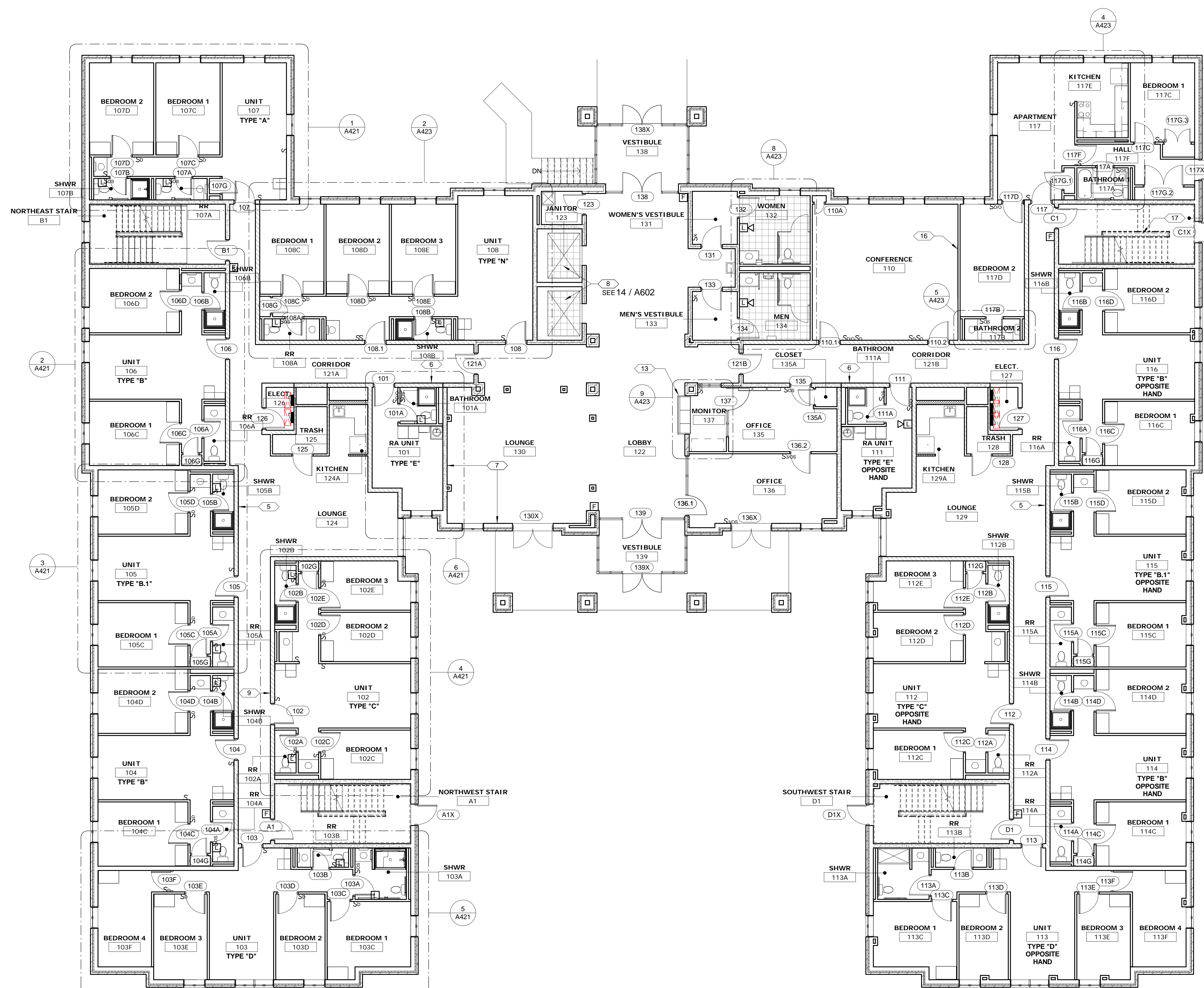
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513-469-2370



**GENERAL NOTES - FLOOR PLANS**

- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- IN AREAS OF NEW WORK IN EXISTING FLOORS, WALLS AND CEILINGS, EXISTING SURFACES TO BE PATCHED, FINISHED AND PAINTED TO MATCH EXISTING.
- REMOVE ALL MISCELLANEOUS UNUSED FASTENERS, TAPE, SLEEVES, INSERTS, ETC. AND PATCH WALL / CEILING PRIOR TO PAINTING.
- VERIFY DIMENSIONS AND EXISTING CONDITIONS IN FIELD.
- SEE A700 SERIES DRAWINGS FOR BUILDING SIGNAGE.
- ENLARGED UNIT PLANS APPLY TO ALL UNITS OF SAME TYPE AND OPPOSITE HAND OF SAME TYPE THROUGHOUT THE BUILDING.
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**KEYNOTES - FLOOR PLANS**

Number	Keynote
1	REPAIR HOLE IN GWB.
2	48" x 60" W. WHITE BOARD MOUNTED 36" AFF.
3	REPLACE CARPET TILE WHERE CASEWORK DEMOLISHED. MATCH EXISTING CARPET.
4	27" x 48" W x 80" H FABRIC COVERED ACOUSTIC WALL PANEL BY AUDIMUTE OR APPROVED EQUAL. NRC=1.0. Z-CLIP MOUNT. FABRIC TO BE CHOSEN BY ARCHITECT FROM MFR'S. FULL RAIL. ALIGN BOTTOM EDGE OF PANEL WITH TOP OF RESILIENT BASE.
5	48" x 72" W. TACK BOARD MOUNTED 36" AFF.
6	48" x 96" W. TACK BOARD MOUNTED 36" AFF.
7	NEW ABUSE RESISTANT WALL COVERING FROM TOP OF WOOD WAINSCOT TO CEILING (SEE FINISH SCHEDULE). PATCH HOLES IN GWB PRIOR TO INSTALLING.
8	NEW FLOOR, WALL AND CEILING FINISHES IN ELEVATOR CABS - SEE PROJECT MANUAL.
9	REPAIR/REPLACE BROKEN NUMBERS ON COMBINATION SIGN/TACK BOARD.
10	REPAIR DAMAGED GWB AT UNIT VENTILATORS PRIOR TO PAINTING.
11	REPAIR/REPLACE APPROXIMATELY 45 LF WOOD RUNNING BASE AND CHAIR RAIL TRIM THAT IS LOOSE OR MISSING.
12	EXTEND EXISTING WOOD BASE TO UNIT VENTILATORS.
13	REPLACE MISSING/BROKEN TILE BASE AT TRANSACTION COUNTER TO MATCH EXISTING.
14	REPLACE MISSING FACE PLATE AT ELECTRICAL OUTLET.
15	REPLACE CT FLOOR TILE AROUND WC AND RESEAL BASE OF WC. MATCH EXISTING TILE.
16	96" W. x 48" H. WHITE BOARD MOUNTED 36" AFF.
17	REMOVE RUST FROM STAIR STRINGERS AND PRIME PRIOR TO PAINTING.
18	CLEAN AND PAINT AREA WHERE SIGNAGE REMOVED IN EARLIER CONSTRUCTION PHASE.
19	REPLACE MISSING RESILIENT BASE. MATCH EXISTING.

**EXISTING FIRE RESISTANCE RATINGS**

- EXISTING 1-HOUR FIRE RESISTANCE RATED PARTITION
- EXISTING 2-HOUR FIRE RESISTANCE RATED WALL

**1 | FLOOR PLAN - FIRST FLOOR**  
1/8" = 1'-0"  
REF: 1 / A301



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NOTES

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DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**FLOOR PLAN -  
FIRST FLOOR**

**A201**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
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**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**



Fishbeck, Thompson, Carr &  
Huber, Inc.  
11353 Reed Hartman Hwy.,  
Suite 500  
Cincinnati, OH 45241  
513-469-2370

**GENERAL NOTES - FLOOR PLANS**

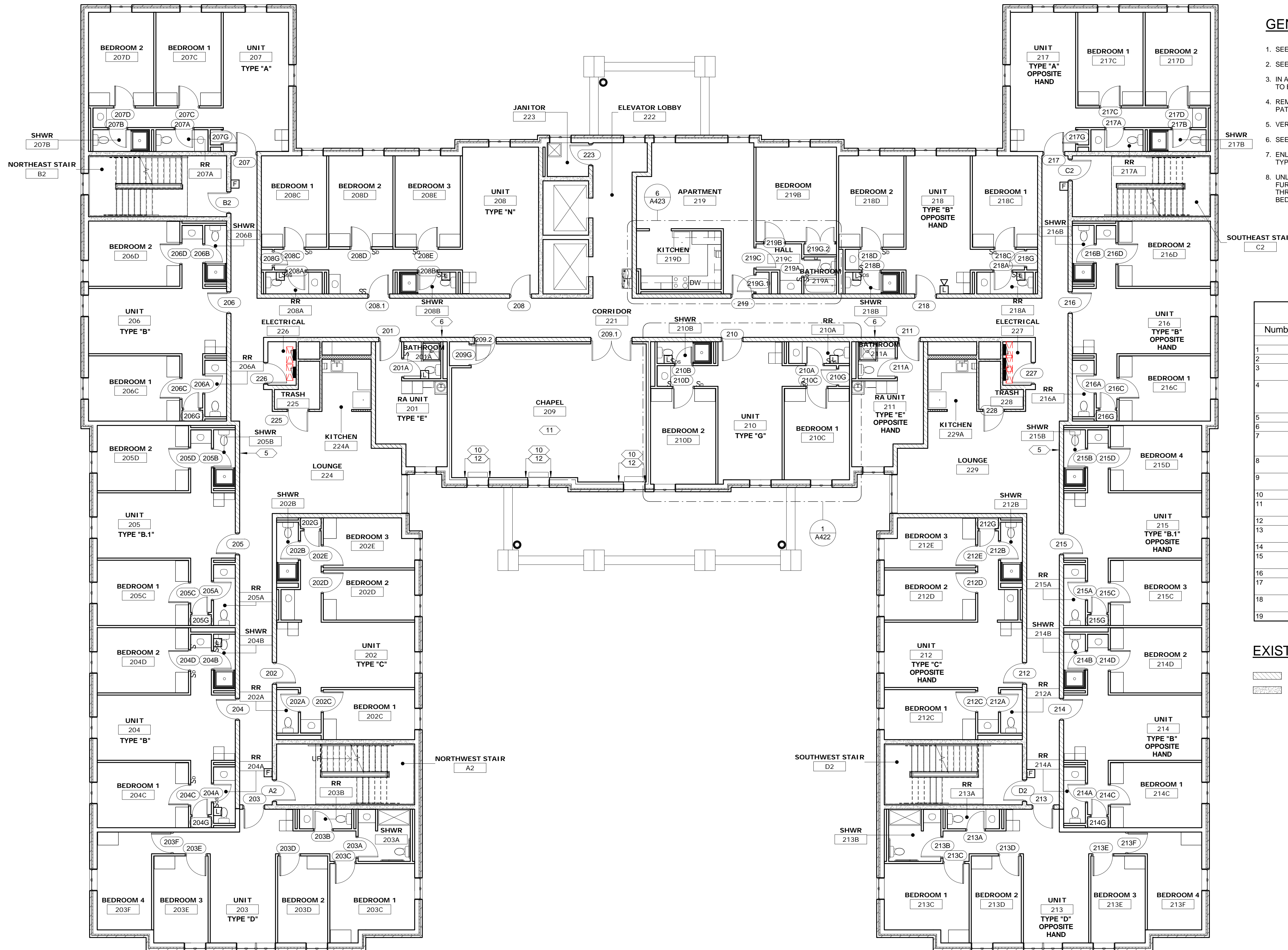
- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- IN AREAS OF NEW WORK IN EXISTING FLOORS, WALLS AND CEILINGS, EXISTING SURFACES TO BE PATCHED, FINISHED AND PAINTED TO MATCH EXISTING.
- REMOVE ALL MISCELLANEOUS UNUSED FASTENERS, TAPE, SLEEVES, INSERTS, ETC. AND PATCH WALL / CEILING PRIOR TO PAINTING.
- VERIFY DIMENSIONS AND EXISTING CONDITIONS IN FIELD.
- SEE A700 SERIES DRAWINGS FOR BUILDING SIGNAGE.
- ENLARGED UNIT PLANS APPLY TO ALL UNITS OF SAME TYPE AND OPPOSITE HAND OF SAME TYPE THROUGHOUT THE BUILDING.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO SUCH IN BEDROOMS, LOUNGES, PUBLIC AREAS, OFFICES AND CONFERENCE ROOMS.

**KEYNOTES - FLOOR PLANS**

Number	Keynote
1	REPAIR HOLE IN GWB.
2	48"H. x 60"W. WHITE BOARD MOUNTED 36" AFF.
3	REPLACE CARPET TILE WHERE CASEWORK DEMOLISHED. MATCH EXISTING CARPET.
4	27" x 48"W x 80"H FABRIC-COVERED ACOUSTIC WALL PANEL BY ALUMINITE OR APPROVED EQUAL. NRC-1.0. Z-CLIP MOUNT. FABRIC TO BE CHOSEN BY ARCHITECT FROM MFR'S. FULL RANGE. ALIGN BOTTOM EDGE OF PANEL WITH TOP OF RESILIENT BASE.
5	48"H. x 72"W. TACK BOARD MOUNTED 36" AFF.
6	48"H. x 96"W. TACK BOARD MOUNTED 36" AFF.
7	NEW ABUSE RESISTANT WALL COVERING FROM TOP OF WOOD WAINSCOT TO CEILING (SEE FINISH SCHEDULE). PATCH HOLES IN GWB PRIOR TO INSTALLING.
8	NEW FLOOR, WALL AND CEILING FINISHES IN ELEVATOR CABS - SEE PROJECT MANUAL.
9	REPAIR/REPLACE BROKEN NUMBERS ON COMBINATION SIGN/TACK BOARD.
10	REPAIR DAMAGED GWB AT UNIT VENTILATORS PRIOR TO PAINTING.
11	REPAIR/REPLACE APPROXIMATELY 45 LF WOOD RUNNING BASE AND CHAIR RAIL TRIM THAT IS LOOSE OR MISSING.
12	EXTEND EXISTING WOOD BASE TO UNIT VENTILATORS.
13	REPLACE MISSING/BROKEN TILE BASE AT TRANSACTION COUNTER TO MATCH EXISTING.
14	REPLACE MISSING FACE PLATE AT ELECTRICAL OUTLET.
15	REPLACE CT FLOOR TILE AROUND WC AND RESEAL BASE OF WC. MATCH EXISTING TILE.
16	96"W. x 48"H. WHITE BOARD MOUNTED 36" AFF.
17	REMOVE RUST FROM STAIR STRINGERS AND PRIME PRIOR TO PAINTING.
18	CLEAN AND PAINT AREA WHERE SIGNAGE REMOVED IN EARLIER CONSTRUCTION PHASE.
19	REPLACE MISSING RESILIENT BASE. MATCH EXITING.

**EXISTING FIRE RESISTANCE RATINGS**

- EXISTING 1-HOUR FIRE RESISTANCE RATED PARTITION
- EXISTING 2-HOUR FIRE RESISTANCE RATED WALL



**1 | FLOOR PLAN - SECOND FLOOR**

1/8" = 1'-0"  
REF: 1 / A301



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**FLOOR PLAN -  
SECOND FLOOR**

**A202**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
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11353 Reed Hartman Hwy.,  
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Cincinnati, OH 45241  
513-469-2370

**GENERAL NOTES - FLOOR PLANS**

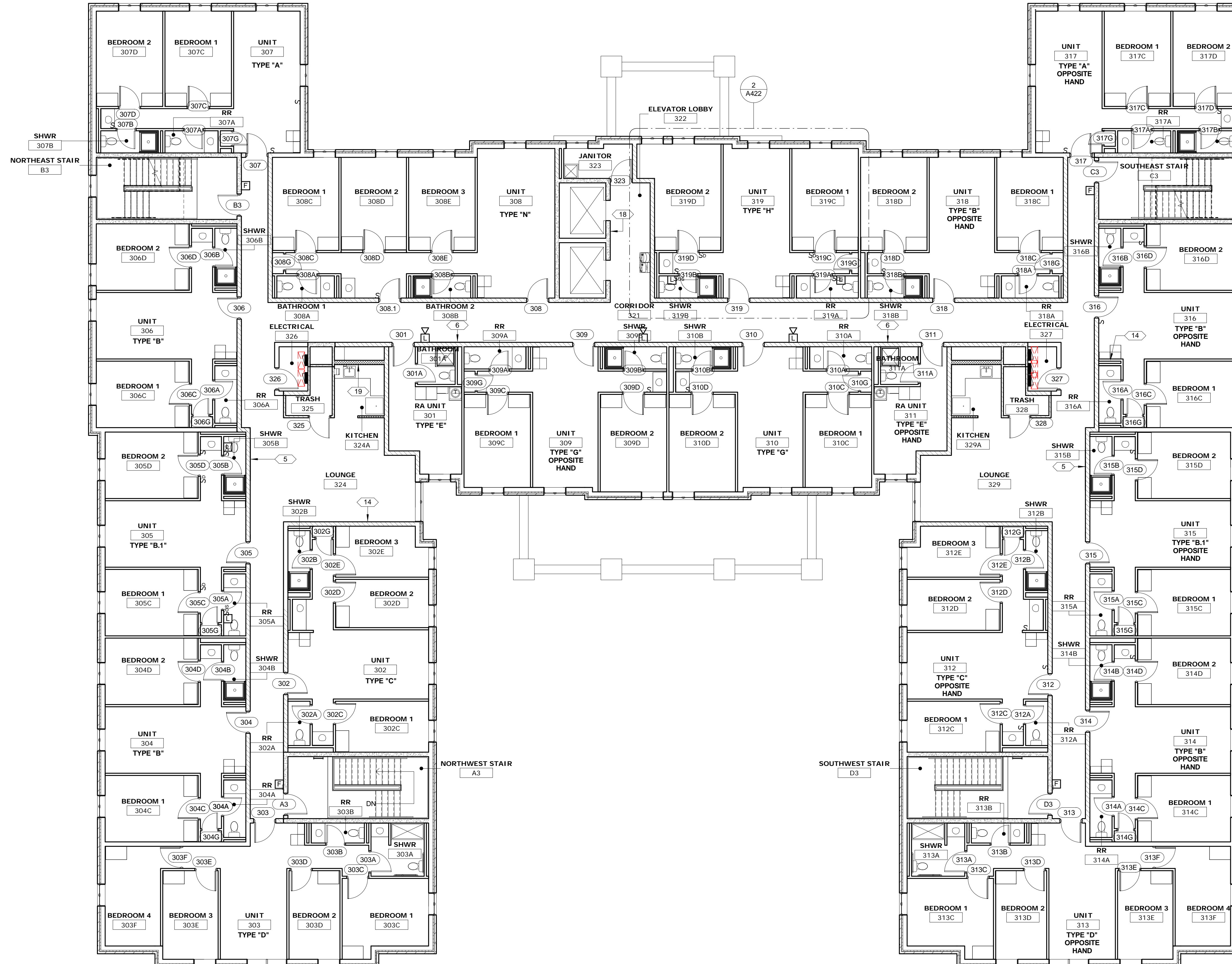
- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- IN AREAS OF NEW WORK IN EXISTING FLOORS, WALLS AND CEILINGS, EXISTING SURFACES TO BE PATCHED, FINISHED AND PAINTED TO MATCH EXISTING.
- REMOVE ALL MISCELLANEOUS UNUSED FASTENERS, TAPE, SLEEVES, INSERTS, ETC. AND PATCH WALL / CEILING PRIOR TO PAINTING.
- VERIFY DIMENSIONS AND EXISTING CONDITIONS IN FIELD.
- SEE A700 SERIES DRAWINGS FOR BUILDING SIGNAGE.
- ENLARGED UNIT PLANS APPLY TO ALL UNITS OF SAME TYPE AND OPPOSITE HAND OF SAME TYPE THROUGHOUT THE BUILDING.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO SUCH IN BEDROOMS, LOUNGES, PUBLIC AREAS, OFFICES AND CONFERENCE ROOMS.

**KEYNOTES - FLOOR PLANS**

Number	Keynote
1	REPAIR HOLE IN GWB.
2	48"H. x 60"W. WHITE BOARD MOUNTED 36" AFF.
3	REPLACE CARPET TILE WHERE CASEWORK DEMOLISHED. MATCH EXISTING CARPET.
4	2" x 48"W x 80"H FABRIC-COVERED ACOUSTIC WALL PANEL BY AUDIMUTE OR APPROVED EQUAL. NRC=1.0. Z-CLIP MOUNT. FABRIC TO BE CHOSEN BY ARCHITECT FROM MFR'S. FULL RANGE. ALIGN BOTTOM EDGE OF PANEL WITH TOP OF RESILIENT BASE.
5	48"H. x 72"W. TACK BOARD MOUNTED 36" AFF.
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**EXISTING FIRE RESISTANCE RATINGS**

- EXISTING 1-HOUR FIRE RESISTANCE RATED PARTITION
- EXISTING 2-HOUR FIRE RESISTANCE RATED WALL



**1 FLOOR PLAN - THIRD FLOOR**

1/8" = 1'-0"  
REF: 1 / A301



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NOTES

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REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**FLOOR PLAN -  
THIRD FLOOR**

**A203**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
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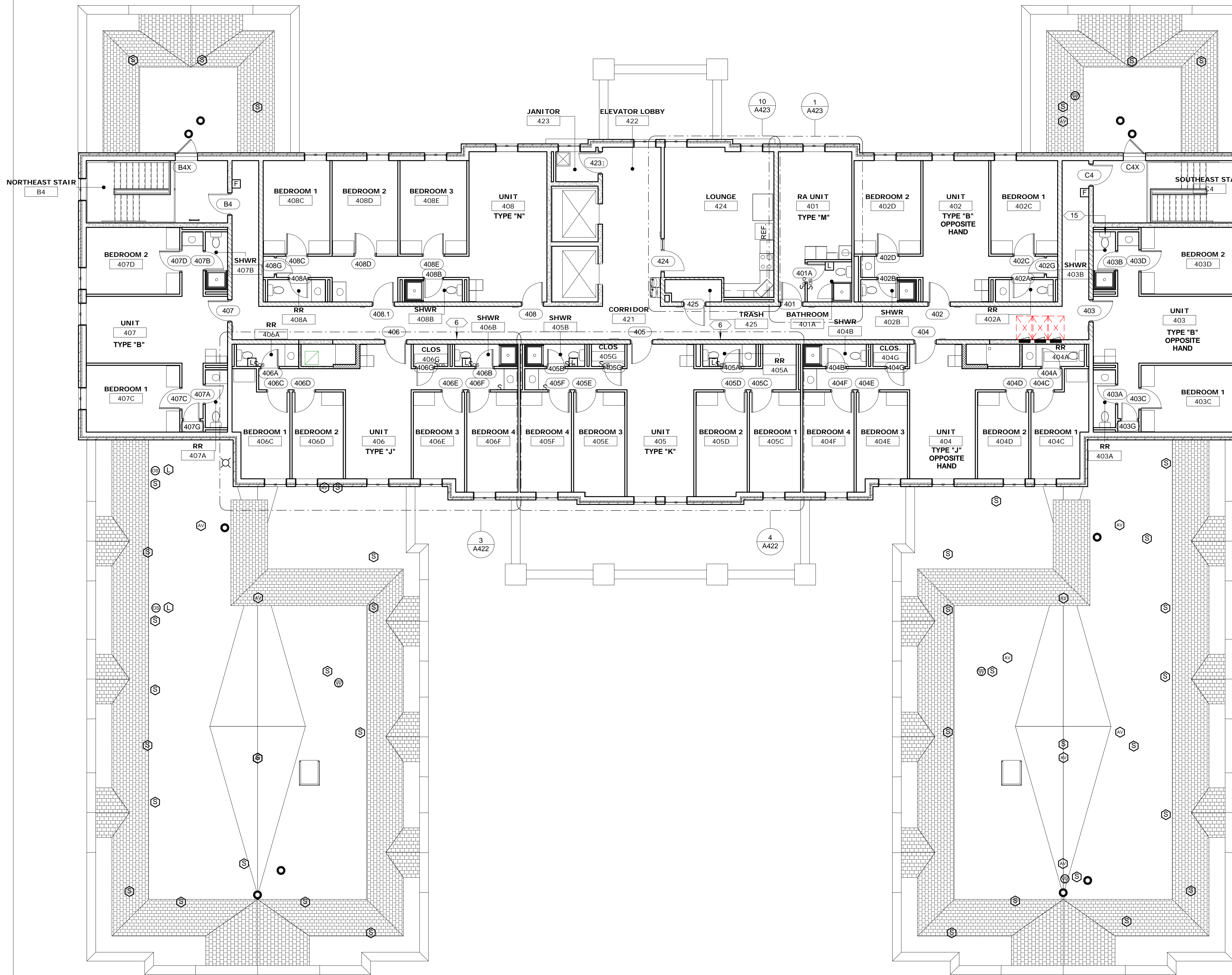
**GENERAL NOTES - FLOOR PLANS**

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- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- IN AREAS OF NEW WORK IN EXISTING FLOORS, WALLS AND CEILINGS, EXISTING SURFACES TO BE PATCHED, FINISHED AND PAINTED TO MATCH EXISTING.
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KEYNOTES - FLOOR PLANS	
Number	Keynote
1	REPAIR HOLE IN GWB.
2	48"H. x 60"W. WHITE BOARD MOUNTED 36" AFF.
3	REPLACE CARPET TILE WHERE CASEWORK DEMOLISHED. MATCH EXISTING CARPET.
4	2" T x 48"W x 80"H FABRIC COVERED ACOUSTIC WALL PANEL BY AUDIMUTE OR APPROVED EQUAL. NRC=1.0. Z-CLIP MOUNT. FABRIC TO BE CHOSEN BY ARCHITECT FROM MFR'S. FULL RANGE. ALIGN BOTTOM EDGE OF PANEL WITH TOP OF RESILIENT BASE.
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**EXISTING FIRE RESISTANCE RATINGS**

- EXISTING 1-HOUR FIRE RESISTANCE RATED PARTITION
- EXISTING 2-HOUR FIRE RESISTANCE RATED WALL



**1 | FLOOR PLAN - FOURTH FLOOR**

1/8" = 1'-0"  
REF: 1 / A301



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REV #	DATE	DESCRIPTION

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03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

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**FLOOR PLAN -  
FOURTH FLOOR**

SHEET NO.

**A204**



**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
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**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**

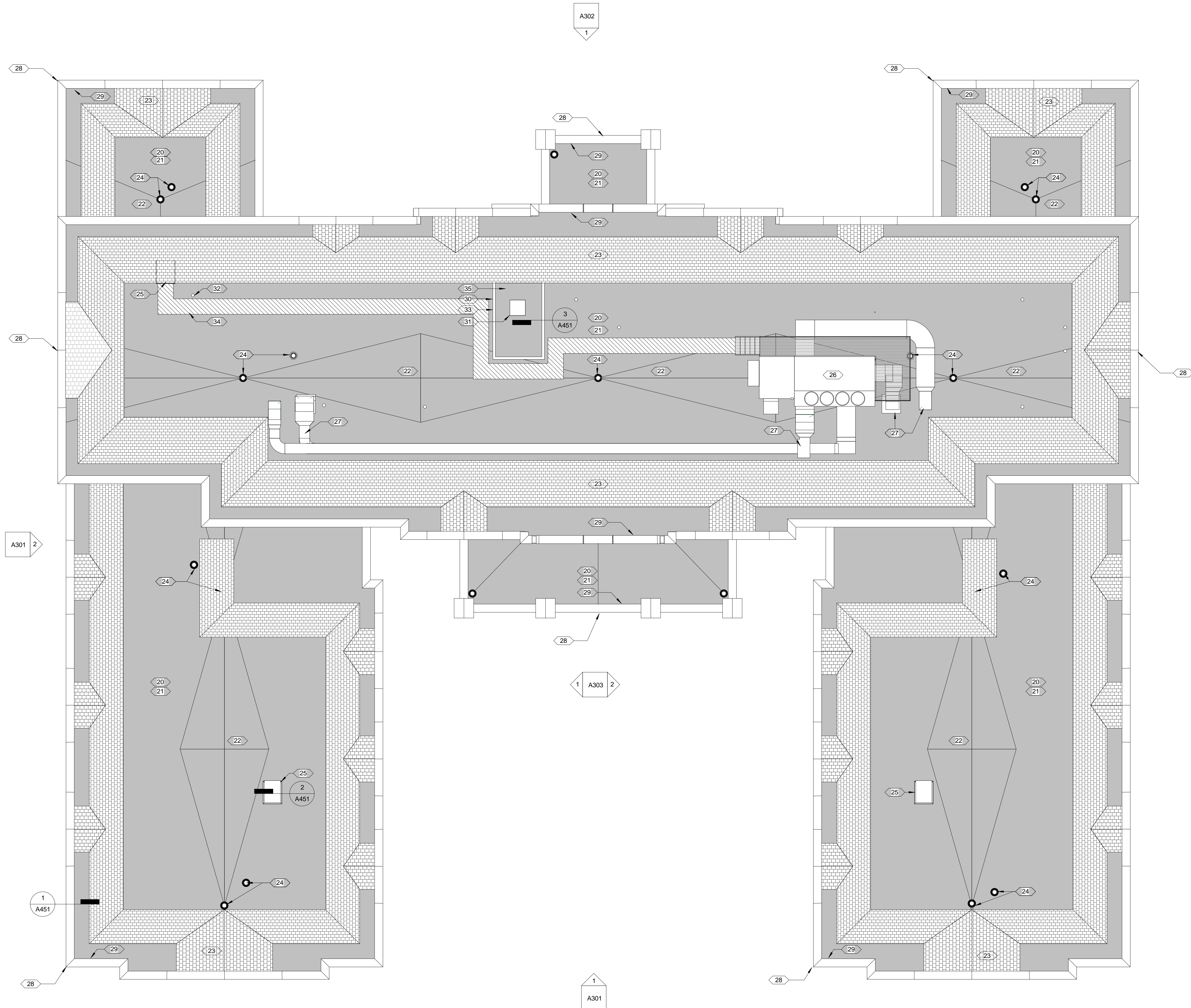


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Huber, Inc.  
11353 Reed Hartman Hwy.,  
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Cincinnati, OH 45241  
513-469-2370

**GENERAL NOTES - ROOF PLAN**

1. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD.
2. ALL INSTALLATION DETAILS FOR NEW ROOFING TO BE IN ACCORDANCE WITH ROOF SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
3. DRAWINGS SHOW INTENT AND GENERAL SCOPE OF WORK BUT MAY NOT SHOW EVERY EXISTING CONDITION (EG. VENT PIPES, FANS, ETC.). IT IS INTENDED THAT ALL ROOF PENETRATIONS, CURBS AND ROOF-MOUNTED EQUIPMENT BE FLASHED IN ACCORDANCE WITH ROOF SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
4. PROTECT EXISTING WORK TO REMAIN DURING COURSE OF CONSTRUCTION.
5. MINIMUM INSULATION THICKNESS SHALL ACHIEVE R-20 (AT LOW END OF TAPER.)
6. FIELD VERIFY THAT 1/4" PER FOOT MINIMUM SLOPE OF TAPERED INSULATION WILL ALLOW ADEQUATE (8" MINIMUM) FLASHING HEIGHT.

KEYNOTES - ROOF	
Number	Keynote
20	REMOVE EXISTING BUILT-UP ROOFING AND INSULATION DOWN TO CONCRETE DECK.
21	NEW MEMBRANE ROOFING ON COVER BOARD ON MINIMUM 4" THICK RIGID INSULATION.
22	NEW MINIMUM 1/2" SLOPE TAPERED RIGID INSULATION CRICKETS/SADDLE.
23	EXISTING SHINGLED ROOF TO REMAIN - REFLASH STEEL TUBE STRUCTURE AT PENETRATION OF MEMBRANE ROOFING.
24	EXISTING ROOF AND OVERFLOW DRAINS TO REMAIN - REFLASH.
25	EXISTING ROOF HATCH TO REMAIN - CLEAN, PAINT AND REFLASH.
26	EXISTING MECHANICAL UNIT AND STEEL PLATFORM TO REMAIN - REFLASH STRUCTURAL STEEL PENETRATIONS OF MEMBRANE ROOFING.
27	EXISTING DUCTWORK TO REMAIN - REFLASH PENETRATIONS OF MEMBRANE ROOFING.
28	EXISTING STONE COPING TO REMAIN - REMOVE SEALANT, CLEAN AND RESEAL ALL SEALANT JOINTS.
29	REMOVE FLASHING AND METAL COUNTERFLASHING AT ROOF PERIMETER. PROVIDE NEW PERIMETER FLASHING AND METAL COUNTERFLASHING PER ROOFING SYSTEM MANUFACTURER'S WRITTEN RECOMMENDATIONS. COLOR TO MATCH EXISTING.
30	NEW METAL ROOF EDGE FLASHING.
31	EXISTING ELEVATOR EXHAUST - REFLASH.
32	EXISTING PLUMBING VENT - REFLASH - TYPICAL.
33	NEW BASE FLASHING.
34	ROOF WALK PADS.
35	EXISTING ELEVATOR PENTHOUSE.



**1 FLOOR PLAN - ROOF**  
1/8" = 1'-0"



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**ROOF PLAN**

SHEET NO.

**A205**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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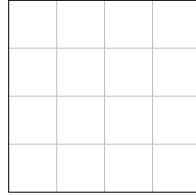
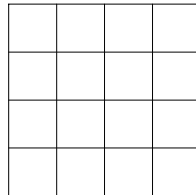

**GENERAL NOTES - REFLECTED CEILING PLANS**

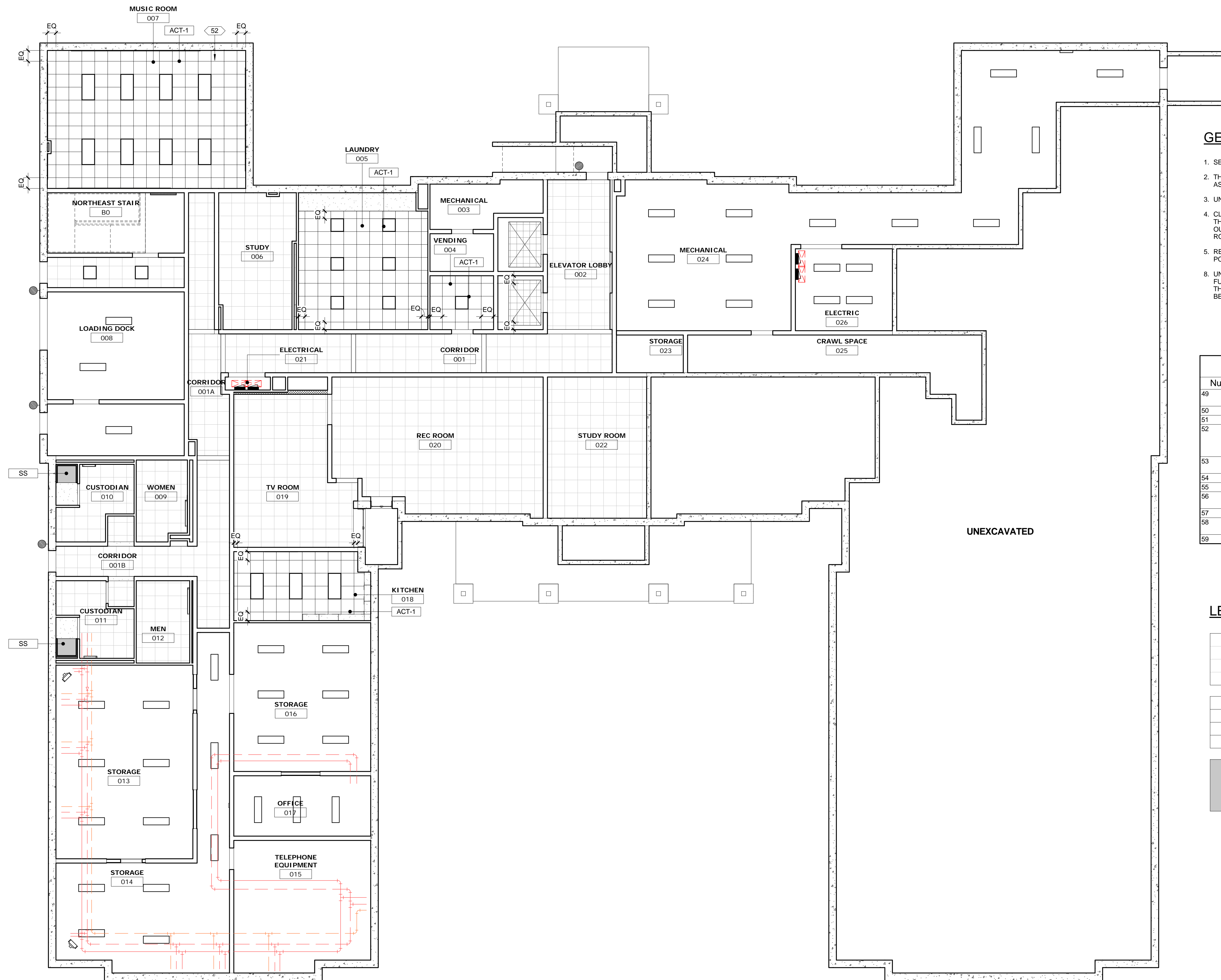
- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- THE INTENT IS THAT NEW ACOUSTICAL CEILINGS TYPICALLY BE INSTALLED AT SAME HEIGHT AS EXISTING IN SAME LOCATION. VERIFY EXISTING CEILING HEIGHTS.
- UNLESS OTHERWISE NOTED, GWB CEILINGS SHOWN ARE EXISTING.
- CLOSETS THAT ARE PART OF LARGER SPACES RECEIVING NEW CEILINGS ARE TO RECEIVE THE SAME NEW CEILING AS LARGER ADJACENT SPACE, WHETHER SPECIFICALLY CALLED OUT ON PLANS OR NOT. THIS INCLUDES, BUT IS NOT LIMITED TO CLOSETS IN UNIT COMMON ROOMS AND APARTMENTS.
- REMOVE AND REINSTALL ACOUSTIC CEILING TILES AS REQUIRED AND TO MINIMUM EXTENT POSSIBLE TO COMPLETE LIMITED DUCT REPLACEMENT. SEE R-SERIES MEP DRAWINGS.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO SUCH IN BEDROOMS, LOUNGES, PUBLIC AREAS, OFFICES AND CONFERENCE ROOMS.

**KEYNOTES - REFLECTED CEILING PLAN**

Number	Keynote
49	NEW MODULAR CEILING IN ELEVATOR CABS - SEE PROJECT MANUAL.
50	REPAIR DAMAGED EXTERIOR GWB SOFFIT THIS AREA.
51	NEW GWB SOFFIT FLUSH WITH ADJACENT CEILINGS.
52	INSTALL ACOUSTIC INSULATION ABOVE CEILING THIS ROOM - OWENS CORNING ECOTOUCH SONOBATT'S, 6.25-INCH THICK OR APPROVED EQUAL. COORDINATE WITH LIGHT FIXTURE LOCATIONS AND INSTALL PER MFR'S. RECOMMENDATIONS.
53	REPAIR / REPLACE DETACHED GWB SOFFIT ON UNDERSIDE OF STAIR RUN.
54	REPAIR DAMAGED GWB CEILING THIS AREA.
55	REPLACE RUSTED EXHAUST GRILLE.
56	REPLACE DAMAGED / STAINED ACOUSTIC CEILING TILES THIS AREA.
57	CLEAN / PAINT ROOF ACCESS LADDER AND HATCH COVER.
58	EXISTING CASEWORK, PROVIDE CEILING CLOSURE WHERE NEW CEILING CAN NOT BE INSTALLED OVER CASEWORK.
59	EXTEND EXISTING GWB SOFFIT TO EXTERIOR WALL.

**LEGEND - CEILING**

-  EXISTING ACOUSTIC CEILING TO REMAIN
-  NEW ACOUSTIC CEILING AND SUSPENSION SYSTEM
-  NEW SOLID SURFACE (SS) CEILING PANEL AT SHOWER



**1 REFLECTED CEILING PLAN - LOWER LEVEL**  
1/8" = 1'-0"



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**REFLECTED  
CEILING PLAN -  
LOWER LEVEL**

**A220**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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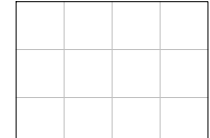
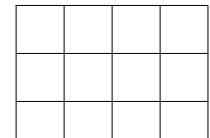

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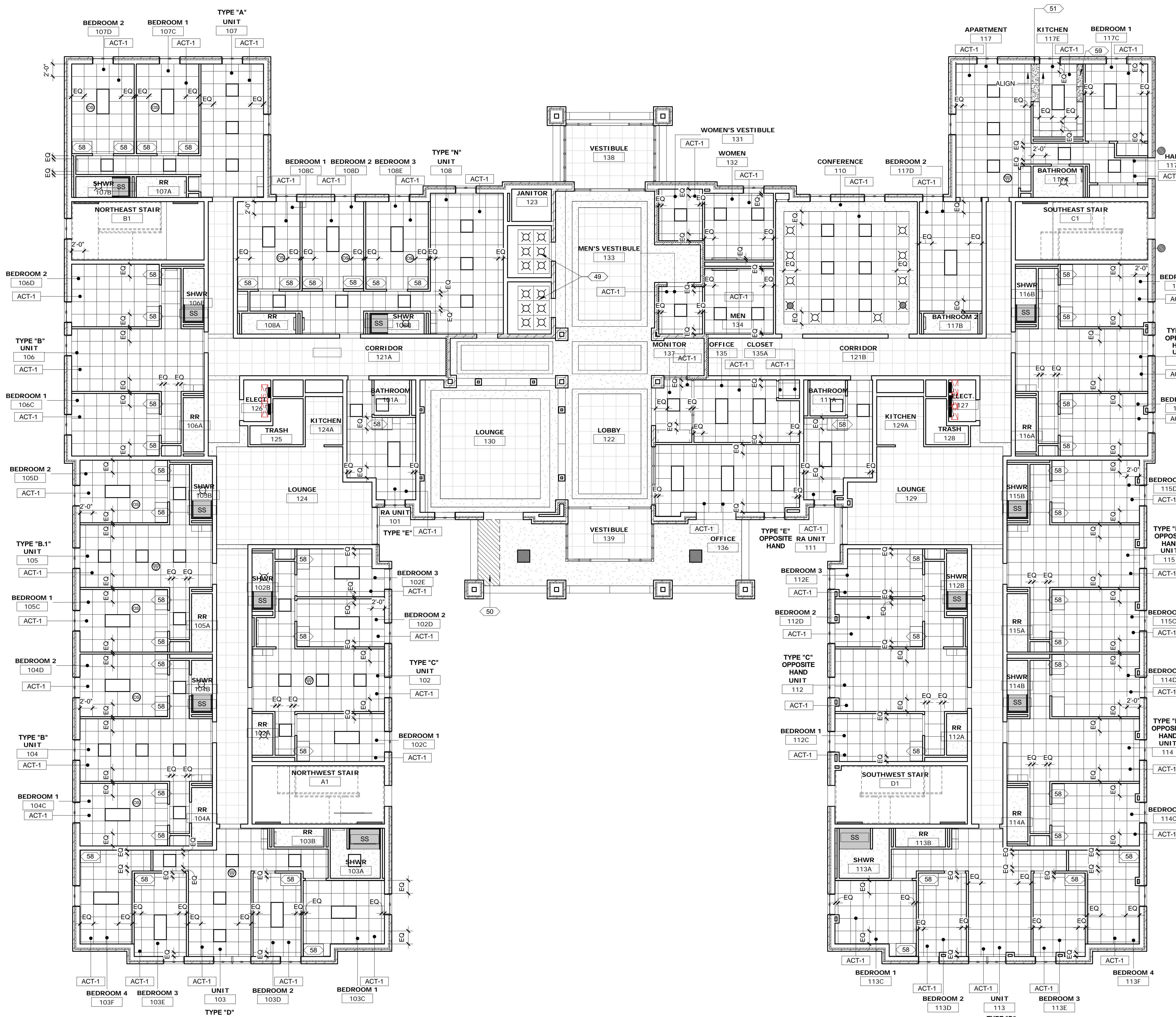
**GENERAL NOTES - REFLECTED CEILING PLANS**

- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- THE INTENT IS THAT NEW ACOUSTICAL CEILINGS TYPICALLY BE INSTALLED AT SAME HEIGHT AS EXISTING IN SAME LOCATION. VERIFY EXISTING CEILING HEIGHTS.
- UNLESS OTHERWISE NOTED, GWB CEILINGS SHOWN ARE EXISTING.
- CLOSETS THAT ARE PART OF LARGER SPACES RECEIVING NEW CEILINGS ARE TO RECEIVE THE SAME NEW CEILING AS LARGER ADJACENT SPACE, WHETHER SPECIFICALLY CALLED OUT ON PLANS OR NOT. THIS INCLUDES, BUT IS NOT LIMITED TO CLOSETS IN UNIT COMMON ROOMS AND APARTMENTS.
- REMOVE AND REINSTALL ACOUSTIC CEILING TILES AS REQUIRED AND TO MINIMUM EXTENT POSSIBLE TO COMPLETE LIMITED DUCT REPLACEMENT. SEE R-SERIES MEP DRAWINGS.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO SUCH IN BEDROOMS, LOUNGES, PUBLIC AREAS, OFFICES AND CONFERENCE ROOMS.

KEYNOTES - REFLECTED CEILING PLAN	
Number	Keynote
49	NEW MODULAR CEILING IN ELEVATOR CABS - SEE PROJECT MANUAL.
50	REPAIR DAMAGED EXTERIOR GWB SOFFIT THIS AREA.
51	NEW GWB SOFFIT FLUSH WITH ADJACENT CEILINGS.
52	INSTALL ACOUSTIC INSULATION ABOVE CEILING THIS ROOM - OWENS CORNING ECOTOUCH SONOBATTS, 6.25-INCH THICK OR APPROVED EQUAL. COORDINATE WITH LIGHT FIXTURE LOCATIONS AND INSTALL PER MFR'S. RECOMMENDATIONS.
53	REPAIR / REPLACE DETACHED GWB SOFFIT ON UNDERSIDE OF STAIR RUN.
54	REPAIR DAMAGED GWB CEILING THIS AREA.
55	REPLACE RUSTED EXHAUST GRILLE.
56	REPLACE DAMAGED / STAINED ACOUSTIC CEILING TILES THIS AREA.
57	CLEAN / PAINT ROOF ACCESS LADDER AND HATCH COVER.
58	EXISTING CASEWORK. PROVIDE CEILING CLOSURE WHERE NEW CEILING CAN NOT BE INSTALLED OVER CASEWORK.
59	EXTEND EXISTING GWB SOFFIT TO EXTERIOR WALL.

**LEGEND - CEILING**

-  EXISTING ACOUSTIC CEILING TO REMAIN
-  NEW ACOUSTIC CEILING AND SUSPENSION SYSTEM
-  NEW SOLID SURFACE (SS) CEILING PANEL AT SHOWER



**1 REFLECTED CEILING PLAN - FIRST FLOOR**  
1/8" = 1'-0"



CONSULTANTS ARCHITECT

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DWG TITLE

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SHEET REVISION		
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03/21/2018	CONSTRUCTION DOCUMENTS

**REFLECTED  
CEILING PLAN -  
FIRST FLOOR**

**A221**



**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
v. (513) 665-9555  
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**PLUMBING, MECHANICAL &  
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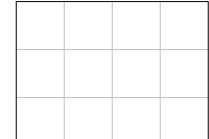
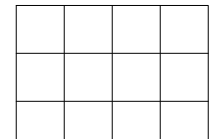

**GENERAL NOTES - REFLECTED CEILING PLANS**

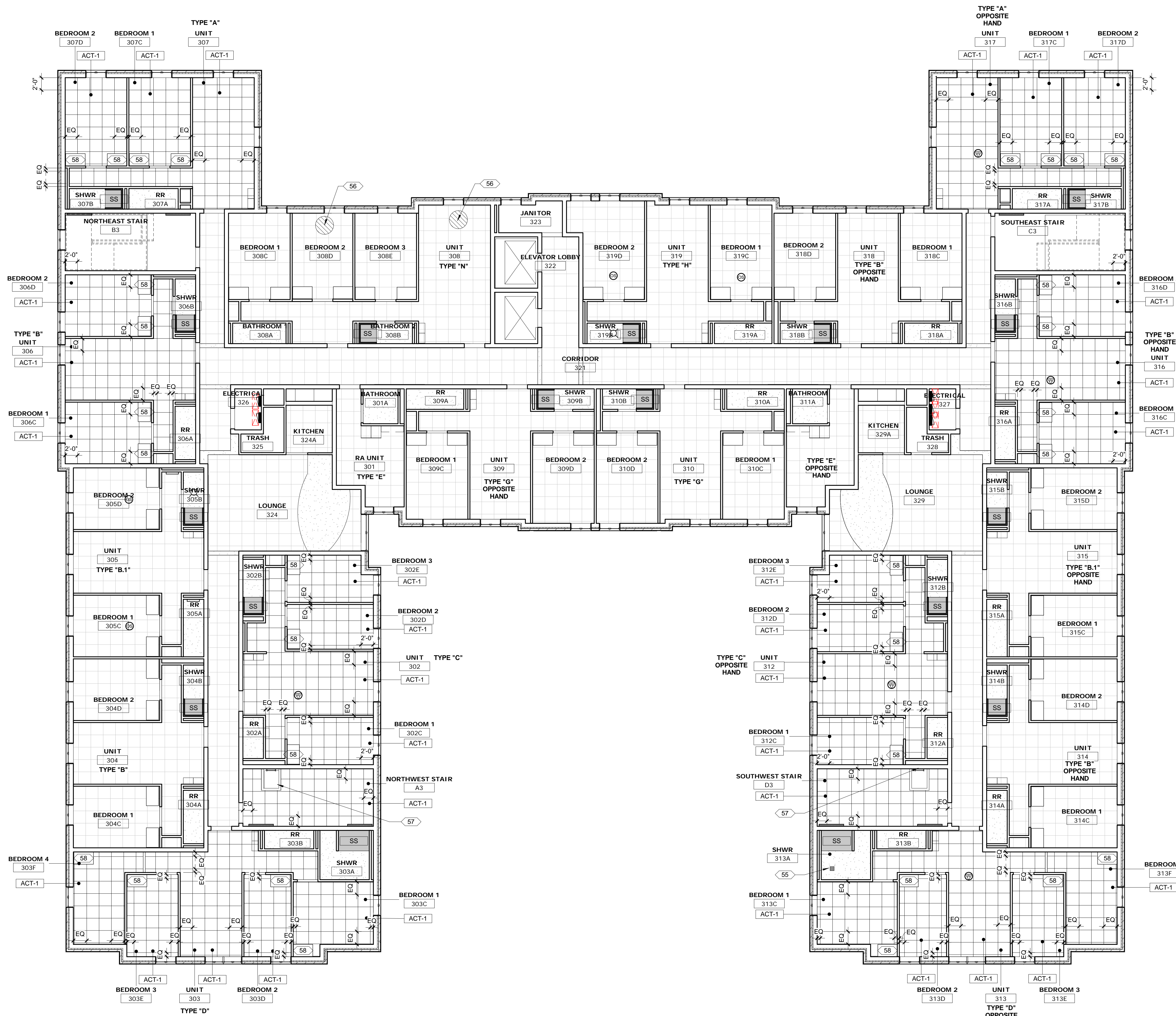
- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- THE INTENT IS THAT NEW ACOUSTICAL CEILINGS TYPICALLY BE INSTALLED AT SAME HEIGHT AS EXISTING IN SAME LOCATION. VERIFY EXISTING CEILING HEIGHTS.
- UNLESS OTHERWISE NOTED, GWB CEILINGS SHOWN ARE EXISTING.
- CLOSETS THAT ARE PART OF LARGER SPACES RECEIVING NEW CEILINGS ARE TO RECEIVE THE SAME NEW CEILING AS LARGER ADJACENT SPACE, WHETHER SPECIFICALLY CALLED OUT ON PLANS OR NOT. THIS INCLUDES, BUT IS NOT LIMITED TO CLOSETS IN UNIT COMMON ROOMS AND APARTMENTS.
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- UNLESS SPECIFICALLY NOTED TO BE REMOVED ON DEMOLITION PLANS, EXISTING FURNISHINGS, APPLIANCES AND EQUIPMENT ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO SUCH IN BEDROOMS, LOUNGES, PUBLIC AREAS, OFFICES AND CONFERENCE ROOMS.

**KEYNOTES - REFLECTED CEILING PLAN**

Number	Keynote
49	NEW MODULAR CEILING IN ELEVATOR CABS - SEE PROJECT MANUAL.
50	REPAIR DAMAGED EXTERIOR GWB SOFFIT THIS AREA.
51	NEW GWB SOFFIT FLUSH WITH ADJACENT CEILINGS.
52	INSTALL ACOUSTIC INSULATION ABOVE CEILING THIS ROOM - OWENS CORNING ECOTOUCH SONOBATT'S, 6.25-INCH THICK OR APPROVED EQUAL. COORDINATE WITH LIGHT FIXTURE LOCATIONS AND INSTALL PER MFR'S. RECOMMENDATIONS.
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**LEGEND - CEILING**

-  EXISTING ACOUSTIC CEILING TO REMAIN
-  NEW ACOUSTIC CEILING AND SUSPENSION SYSTEM
-  NEW SOLID SURFACE (SS) CEILING PANEL AT SHOWER



1 | REFLECTED CEILING PLAN - THIRD FLOOR  
1/8" = 1'-0"



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03/21/2018	CONSTRUCTION DOCUMENTS

**REFLECTED  
CEILING PLAN -  
THIRD FLOOR**

**A223**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
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M.H. MALTZSKY, LICENSE #10104  
EXPIRATION DATE 12/31/2018

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**GENERAL NOTES - REFLECTED CEILING PLANS**

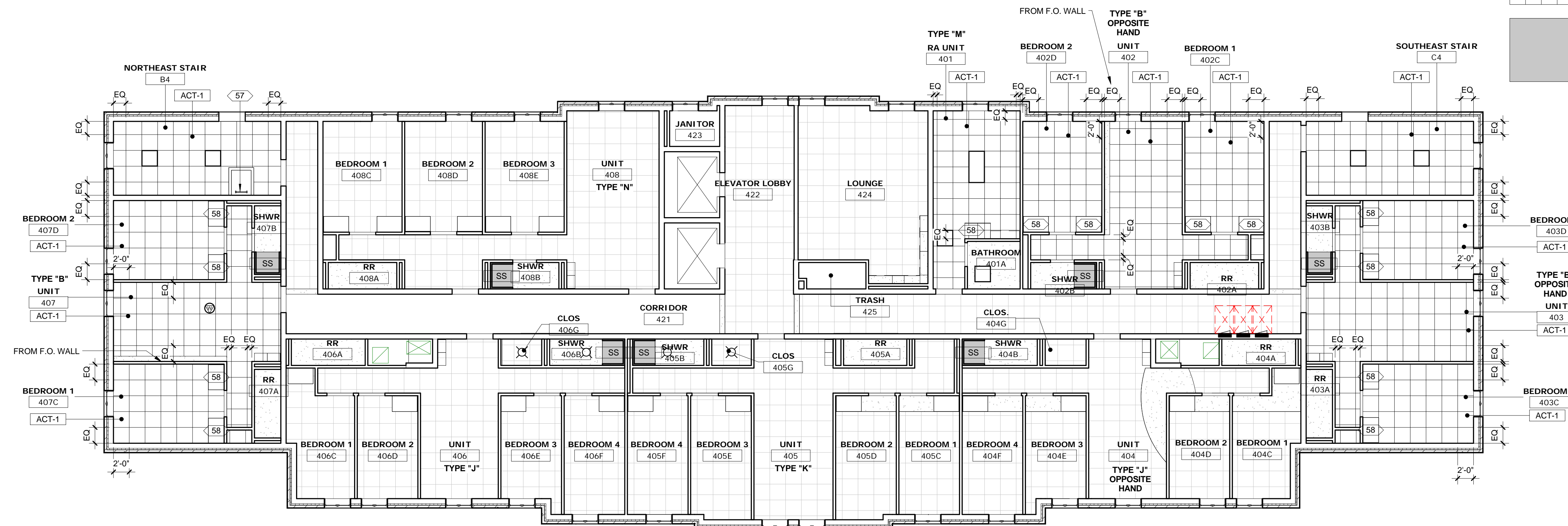
- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
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**KEYNOTES - REFLECTED CEILING PLAN**

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59	EXTEND EXISTING GWB SOFFIT TO EXTERIOR WALL.

**LEGEND - CEILING**

- EXISTING ACOUSTIC CEILING TO REMAIN
- NEW ACOUSTIC CEILING AND SUSPENSION SYSTEM
- NEW SOLID SURFACE (SS) CEILING PANEL AT SHOWER



1 | REFLECTED CEILING PLAN - FOURTH FLOOR  
1/8" = 1'-0"



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**REFLECTED  
CEILING PLAN -  
FOURTH FLOOR**

SHEET NO.

**A224**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

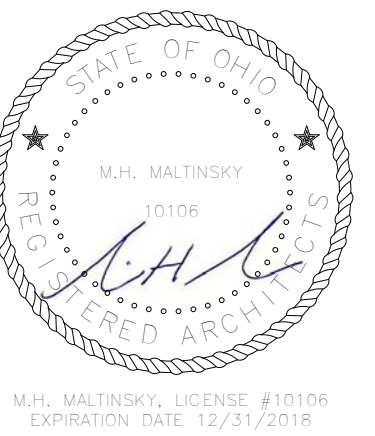
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Project #: 17018



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**GENERAL NOTES - BUILDING ELEVATIONS**

1. FIELD-VERIFY DIMENSIONS AND EXISTING CONDITIONS.
2. DRAWINGS SHOW INTENT AND GENERAL SCOPE OF WORK BUT MAY NOT SHOW EVERY EXISTING CONDITION (E.G. CONTROL JOINTS, WALL PENETRATIONS, ETC.) IT IS INTENDED THAT ALL EXISTING SEALANT JOINTS BE REPLACED.
3. ALL EXTERIOR MASONRY SURFACES ARE TO BE CLEANED AND RESEALED, WHETHER VISIBLE IN ELEVATION DRAWINGS OR NOT.

KEYNOTES - BUILDING ELEVATIONS	
Number	Keynote
60	EXISTING MOVEMENT JOINT. REMOVE SEALANT AND BACKER ROD. CLEAN ADJACENT SURFACES. INSTALL NEW BACKER ROD AND RESEAL JOINT - TYPICAL.
61	REMOVE SEALANT AND BACKER ROD ALL MASONRY OPENINGS. CLEAN ADJACENT SURFACES. INSTALL NEW BACKER ROD AND RESEAL JOINT - TYPICAL.
62	REMOVE SEALANT AT STONE COPINGS. CLEAN ADJACENT SURFACES AND RESEAL JOINTS - TYPICAL.
63	CLEAN ALL EXISTING MASONRY SURFACES AND APPLY NEW SEALANT - TYPICAL.
64	EXISTING SHINGLED ROOF TO REMAIN - TYPICAL.



**2 | EXTERIOR ELEVATION - NORTH**  
1/8" = 1'-0"



**1 | EXTERIOR ELEVATION - WEST**  
1/8" = 1'-0"

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**EXTERIOR  
ELEVATIONS**

**A301**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

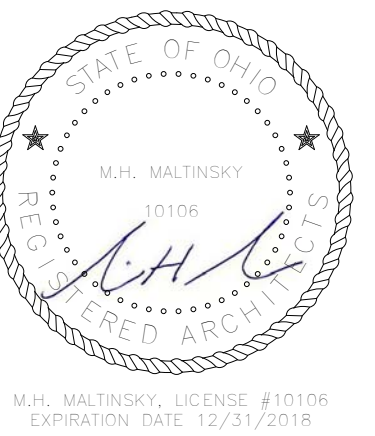
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513-469-2370

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KEYNOTES - BUILDING ELEVATIONS	
Number	Keynote
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62	REMOVE SEALANT AT STONE COPINGS, CLEAN ADJACENT SURFACES AND RESEAL JOINTS - TYPICAL.
63	CLEAN ALL EXISTING MASONRY SURFACES AND APPLY NEW SEALANT - TYPICAL.
64	EXISTING SHINGLED ROOF TO REMAIN - TYPICAL.



**2 | EXTERIOR ELEVATION - SOUTH**  
1/8" = 1'-0"



**1 | EXTERIOR ELEVATION - EAST**  
1/8" = 1'-0"

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REV #	DATE	DESCRIPTION

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**EXTERIOR  
ELEVATIONS**

**A302**



**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

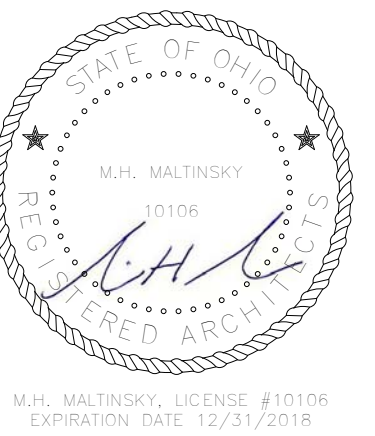
3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**

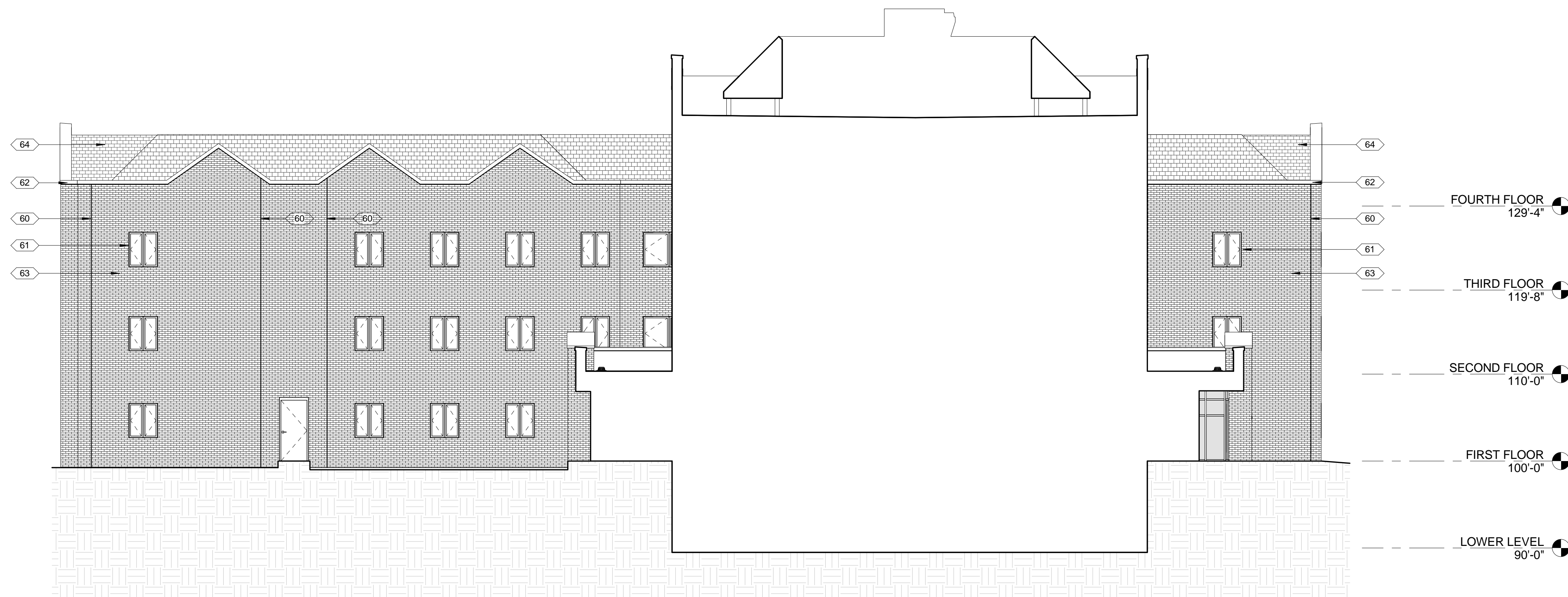


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Cincinnati, OH 45241  
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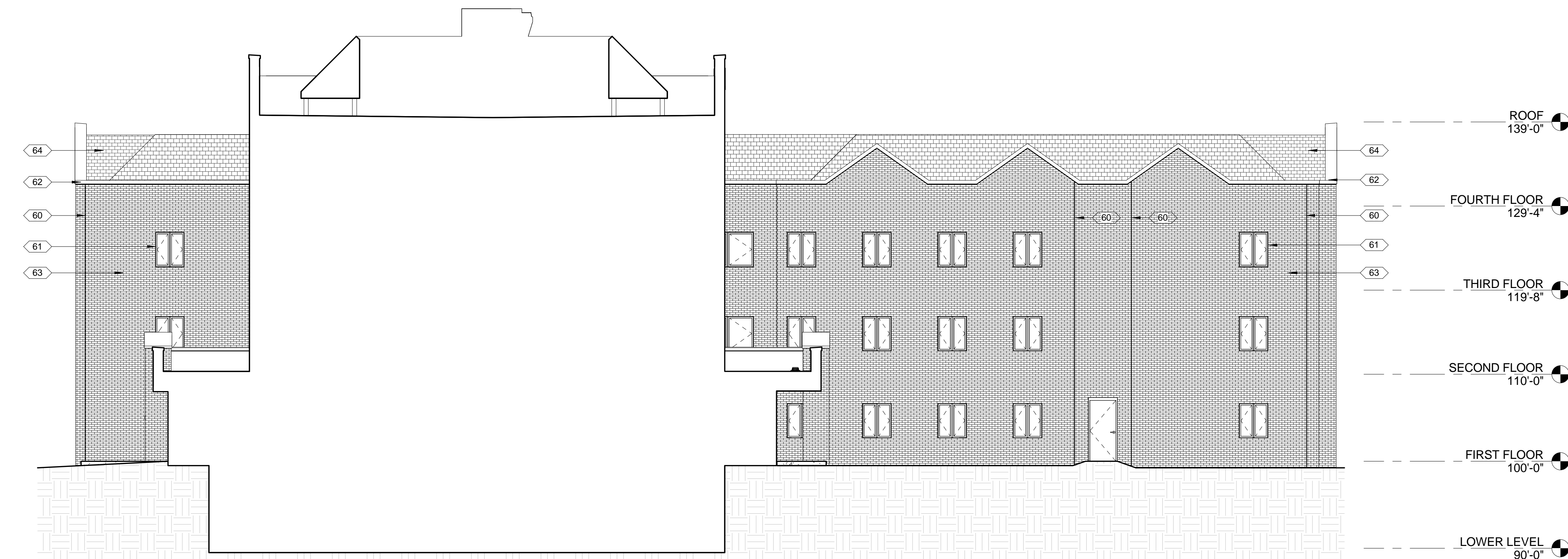
**GENERAL NOTES - BUILDING ELEVATIONS**

1. FIELD-VERIFY DIMENSIONS AND EXISTING CONDITIONS.
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3. ALL EXTERIOR MASONRY SURFACES ARE TO BE CLEANED AND RESEALED, WHETHER VISBLE IN ELEVATION DRAWINGS OR NOT.

KEYNOTES - BUILDING ELEVATIONS	
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62	REMOVE SEALANT AT STONE COPINGS. CLEAN ADJACENT SURFACES AND RESEAL JOINTS - TYPICAL.
63	CLEAN ALL EXISTING MASONRY SURFACES AND APPLY NEW SEALANT - TYPICAL.
64	EXISTING SHINGLED ROOF TO REMAIN - TYPICAL.



**1 | COURTYARD ELEVATION - LOOKING NORTH**  
1/8" = 1'-0"



**2 | COURTYARD ELEVATION - LOOKING SOUTH**  
1/8" = 1'-0"

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**EXTERIOR  
ELEVATIONS**

**A303**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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**ENLARGED  
UNIT PLANS**

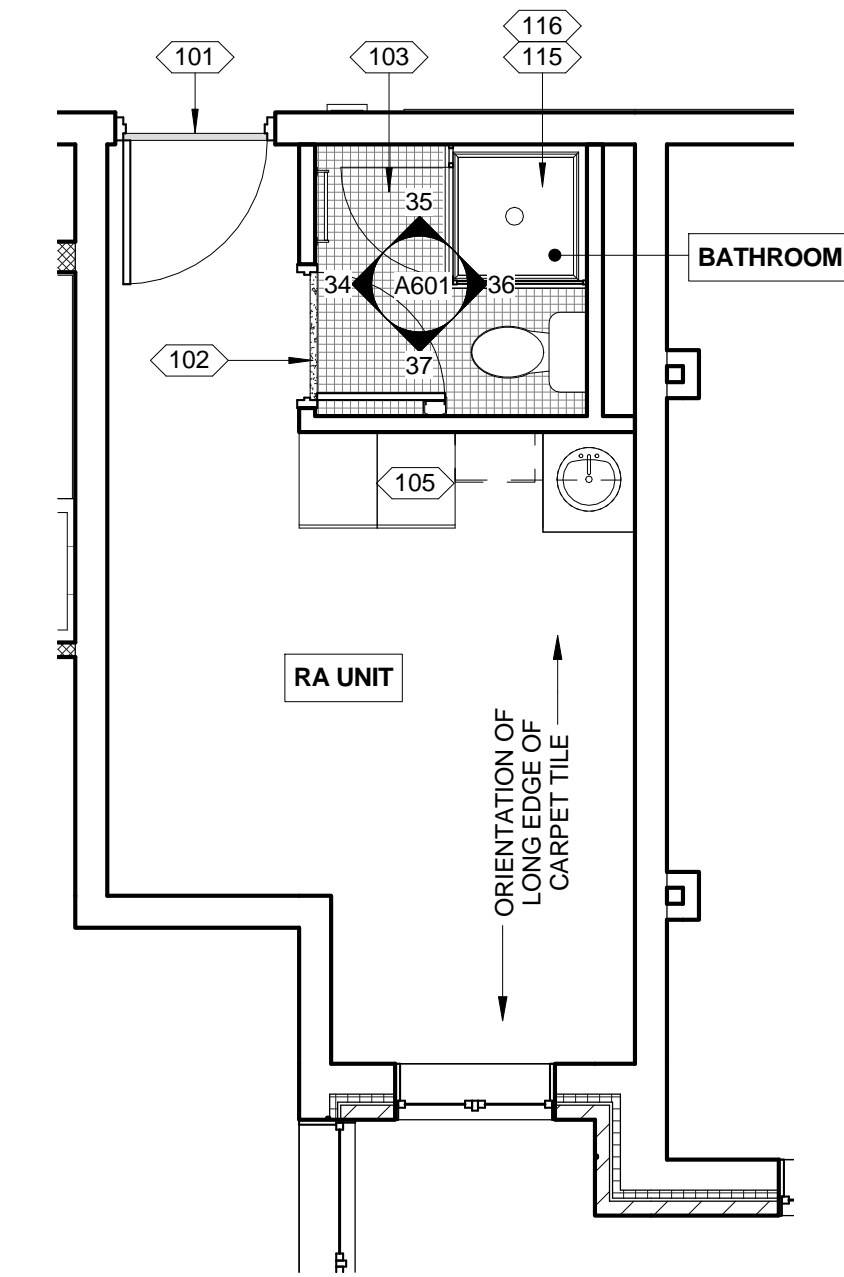
**A421**

**GENERAL NOTES - ENLARGED FLOOR PLANS**

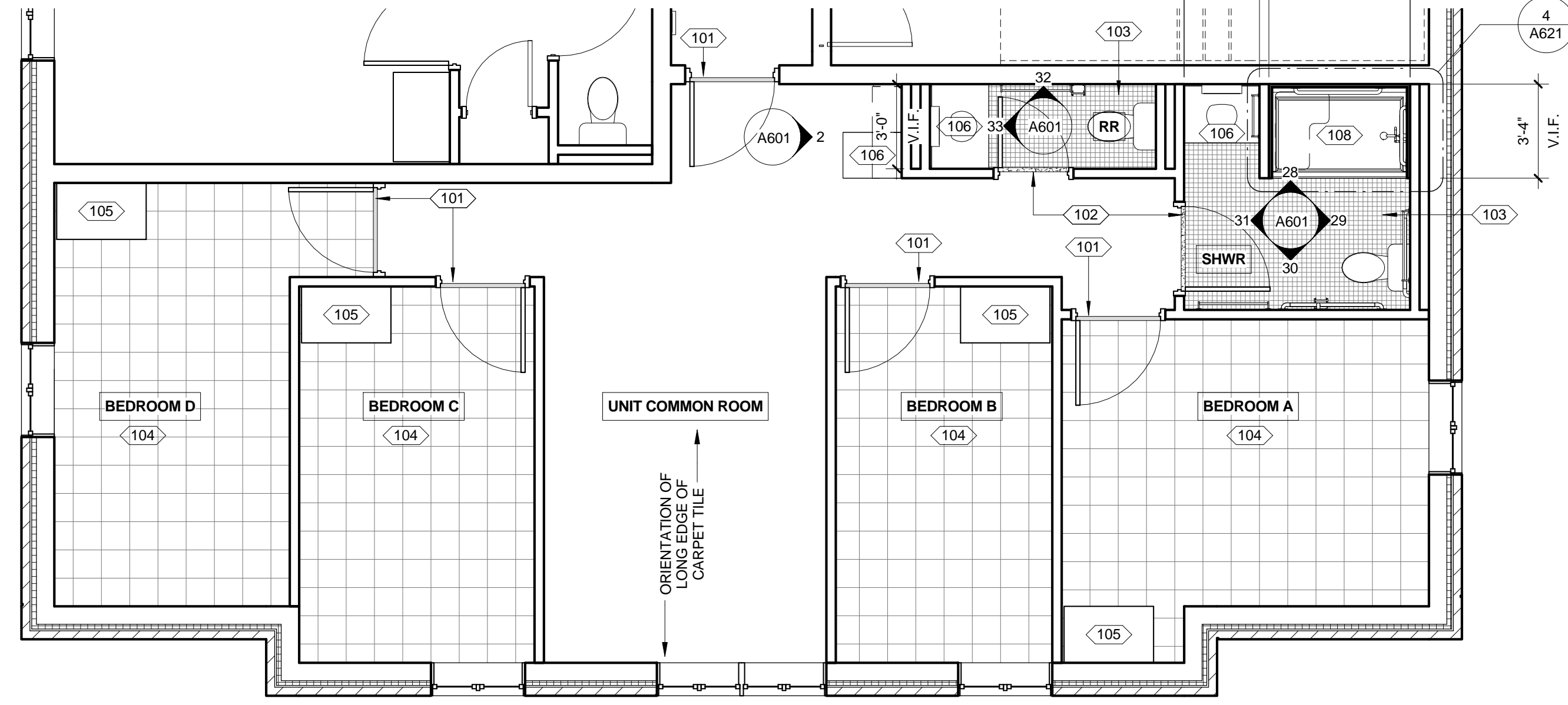
1. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
2. ENLARGED UNIT TYPE PLANS APPLY TO ALL UNITS OF THAT TYPE ON EACH FLOOR OF BUILDING.
3. ENLARGED UNIT TYPE PLANS APPLY TO ALL SIMILAR UNIT TYPES NOTED "OPPOSITE HAND" ON FLOOR PLANS.
4. SEE INTERIOR ELEVATIONS FOR NEW TOILET ACCESSORIES.
5. FIELD-VERIFY DIMENSIONS AND EXISTING CONDITIONS.
6. REPAIR/REPLACE EXISTING CERAMIC FLOOR/WALL TILE WHERE NEW WORK LEAVES ABANDONED MOUNTING HOLES EXPOSED.
7. SEE DOOR SCHEDULE FOR SCOPE OF DOOR, FRAME AND HARDWARE WORK.
8. SEE FURNISHINGS AND EQUIPMENT PLANS FOR APPLIANCE INFORMATION.

**KEYNOTES - ENLARGED FLOOR PLANS**

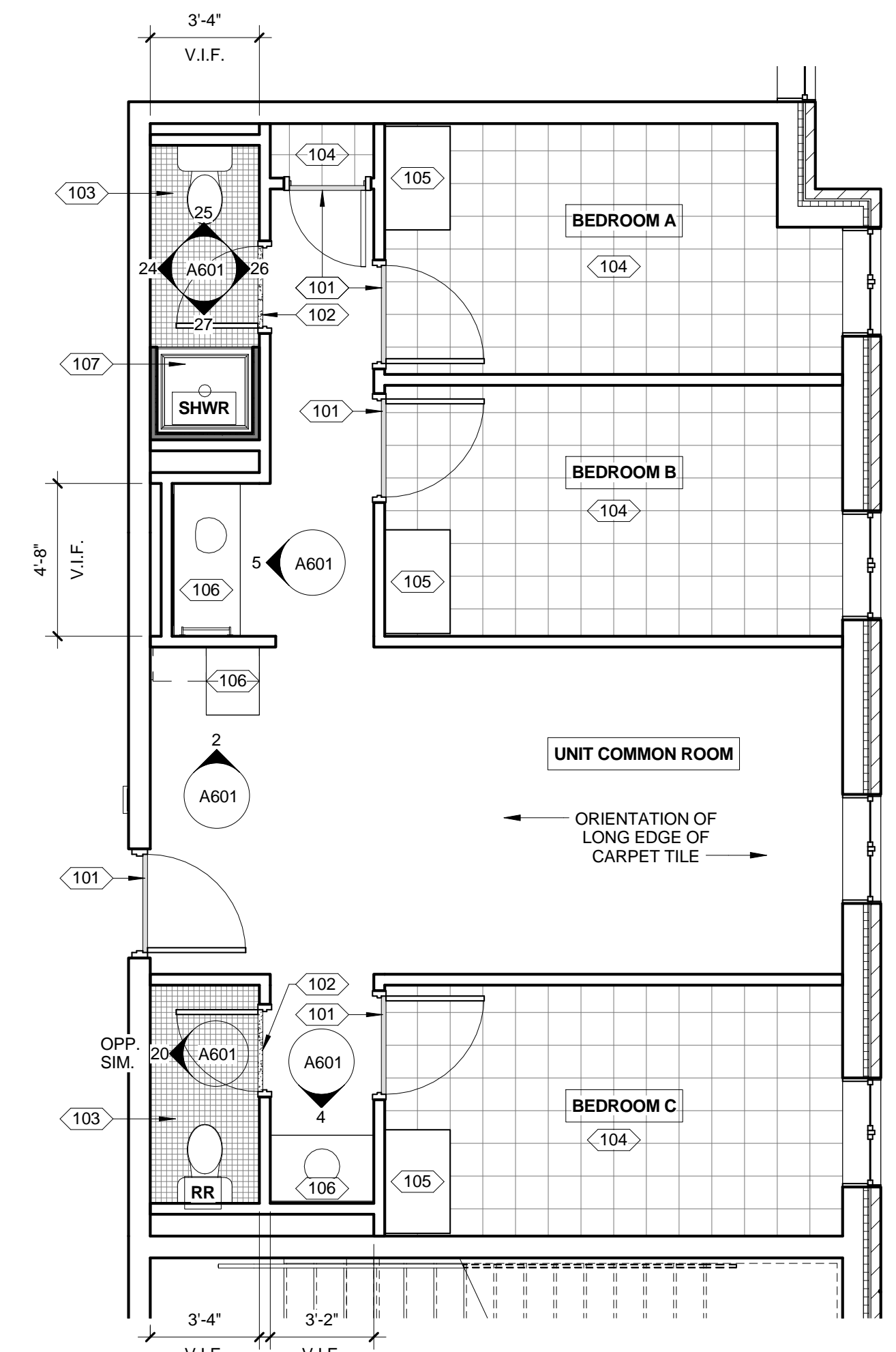
Number	Keynote
101	RESILIENT TRANSITION STRIP.
102	EXISTING MARBLE THRESHOLD TO REMAIN.
103	CLEAN AND RESEAL EXISTING CERAMIC TILE AND GROUT. REPLACE ANY DAMAGED OR MISSING TILE.
104	NEW VCT FLOORING - CENTER PATTERN IN ROOM AS INDICATED.
105	EXISTING CASEWORK TO REMAIN.
106	NEW CASEWORK. SEE INTERIOR ELEVATIONS.
107	NEW SHOWER STALL. SEE DETAIL SHEET A621.
108	NEW ACCESSIBLE SHOWER STALL. SEE DETAIL SHEET A621 SIMILAR.
110	EXTEND NEW FLOOR, BASE AND WALL TILE TO MATCH EXISTING UNDER COUNTER WHERE EXISTING BASE CABINETS REMOVED.
111	U.N.O. REINSTALL EXISTING SOAP, TOILET TISSUE AND PAPER TOWEL DISPENSERS AND WASTE AND NAPKIN RECEPTACLES IN ORIGINAL LOCATIONS.
112	NEW TOILET PARTITION.
114	48" H. x 60" W. WHITE BOARD MOUNTED 36" AFF.
115	EXISTING SHOWER PAN TO REMAIN. CLEAN AND PREP FOR NEW SHOWER WALL / DOOR ENCLOSURE.
116	NEW GLASS SHOWER WALL / DOOR ENCLOSURE. FIELD VERIFY REQUIRED DIMENSIONS.
117	CLEAN AND RESEAL EXISTING TILE AND GROUT.
118	REPLACE VCT WITH NEW CARPET TO MATCH EXISTING ADJACENT.
119	ENAMELED STEEL URINAL SCREEN TO MATCH EXISTING TOILET COMPARTMENT THIS ROOM.



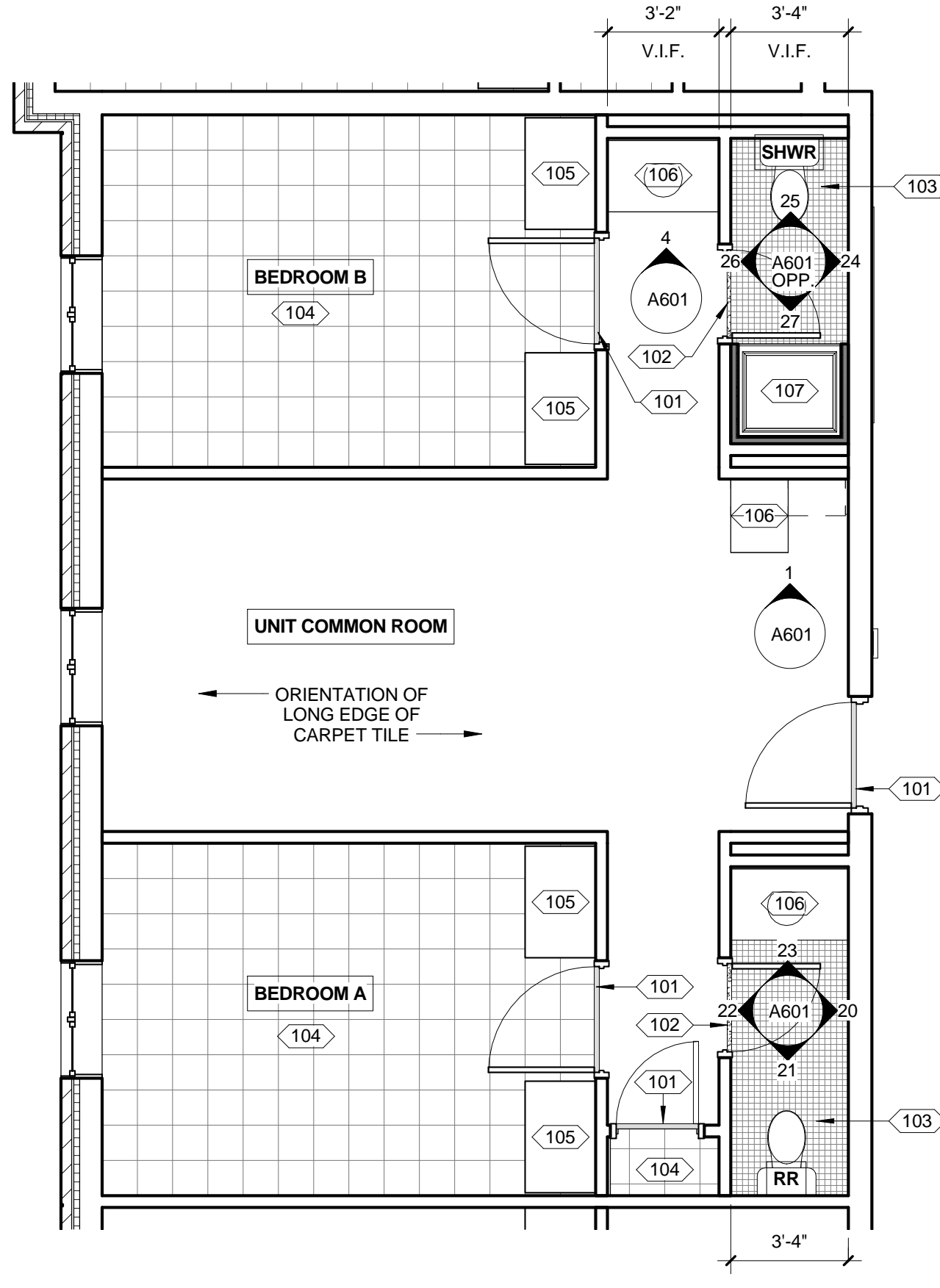
**6 FLOOR PLAN - UNIT TYPE "E"**  
1/4" = 1'-0"  
REF: 1 / A201



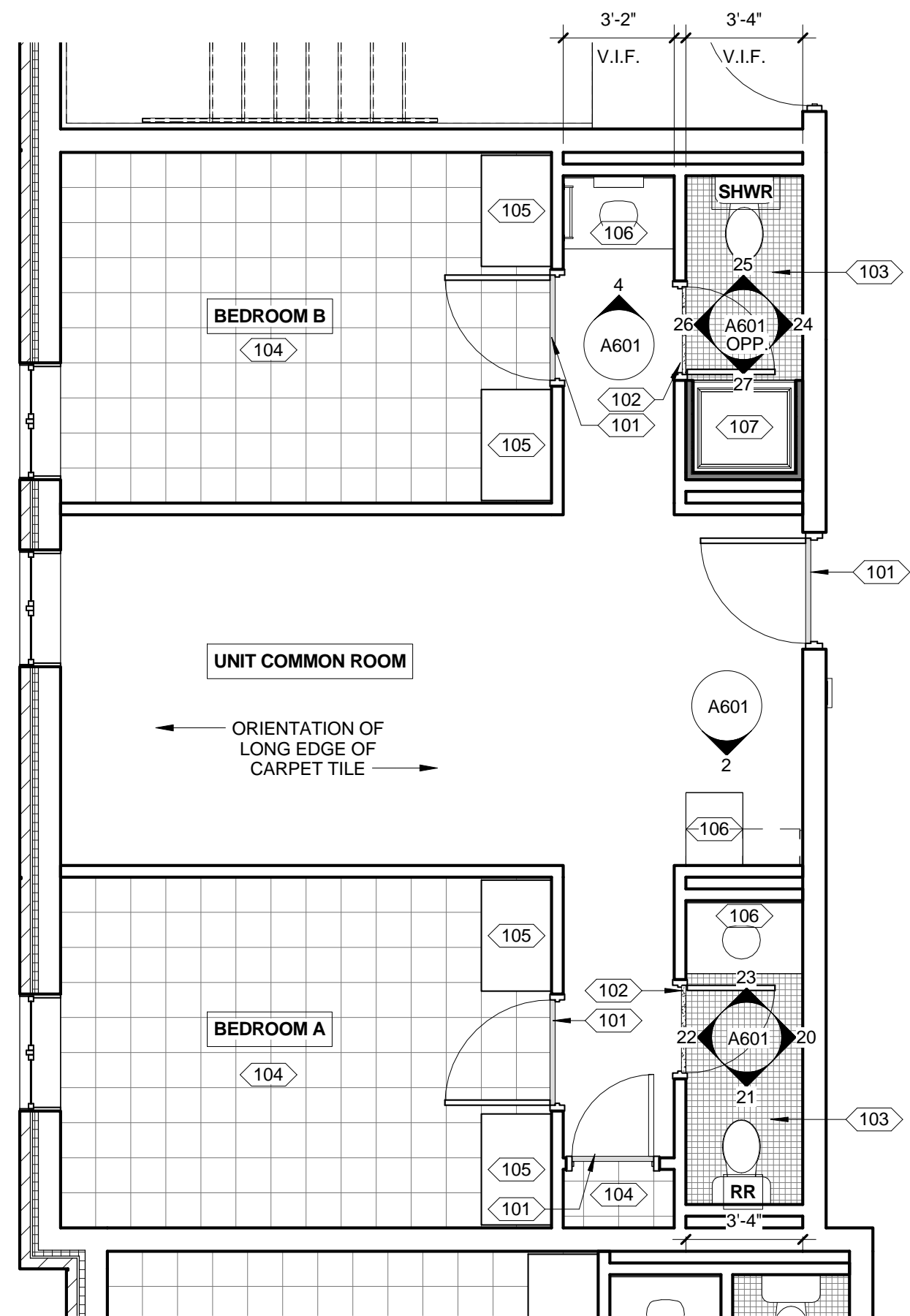
**5 FLOOR PLAN - UNIT TYPE "D"**  
1/4" = 1'-0"  
REF: 1 / A201



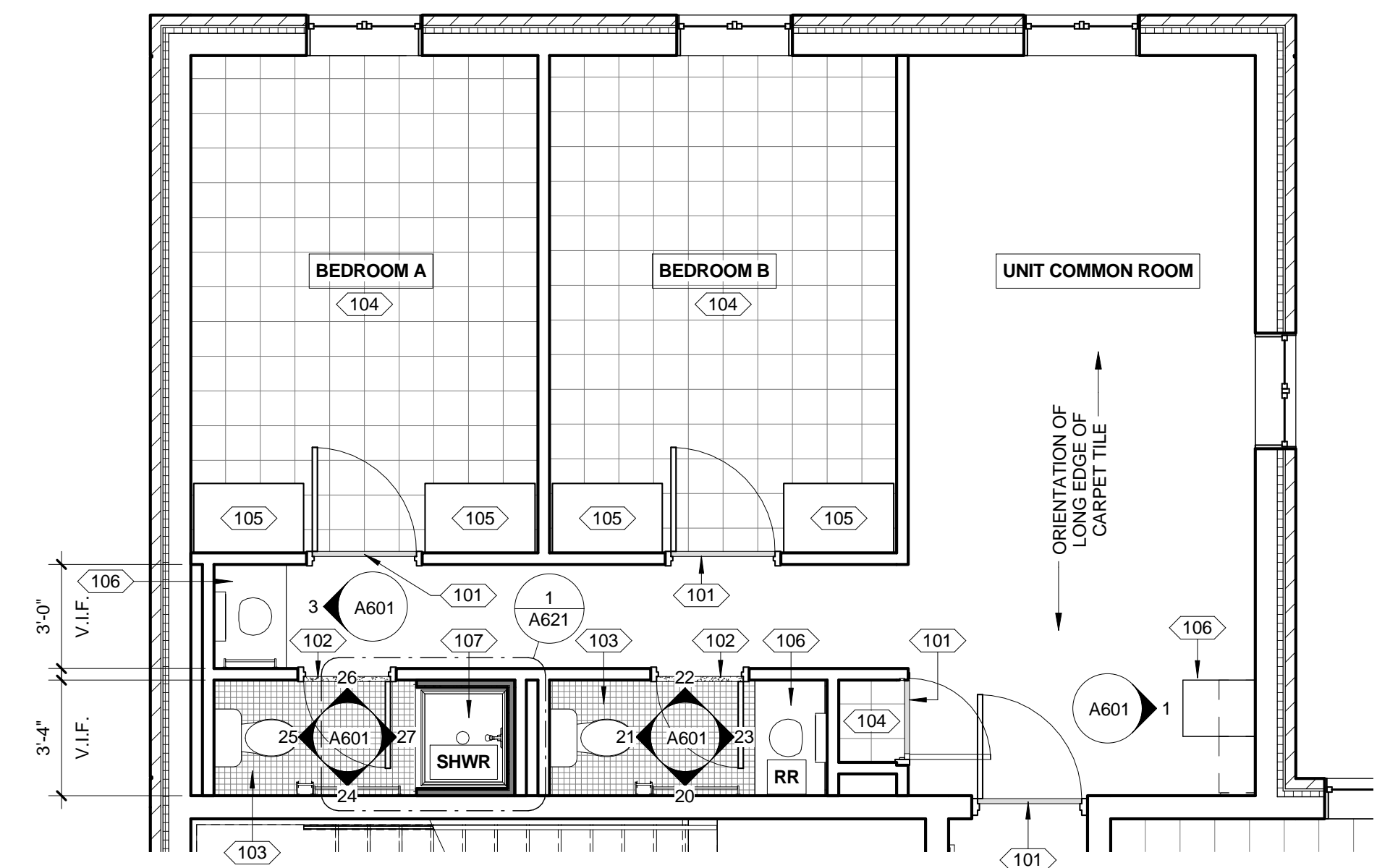
**4 FLOOR PLAN - UNIT TYPE "C"**  
1/4" = 1'-0"  
REF: 1 / A201



**3 FLOOR PLAN - UNIT TYPE "B.1"**  
1/4" = 1'-0"  
REF: 1 / A201



**2 FLOOR PLAN - UNIT TYPE "B"**  
1/4" = 1'-0"  
REF: 1 / A201



**1 FLOOR PLAN - UNIT TYPE "A"**  
1/4" = 1'-0"  
REF: 1 / A201

**Xavier University  
Buenger Hall  
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Phase 2**

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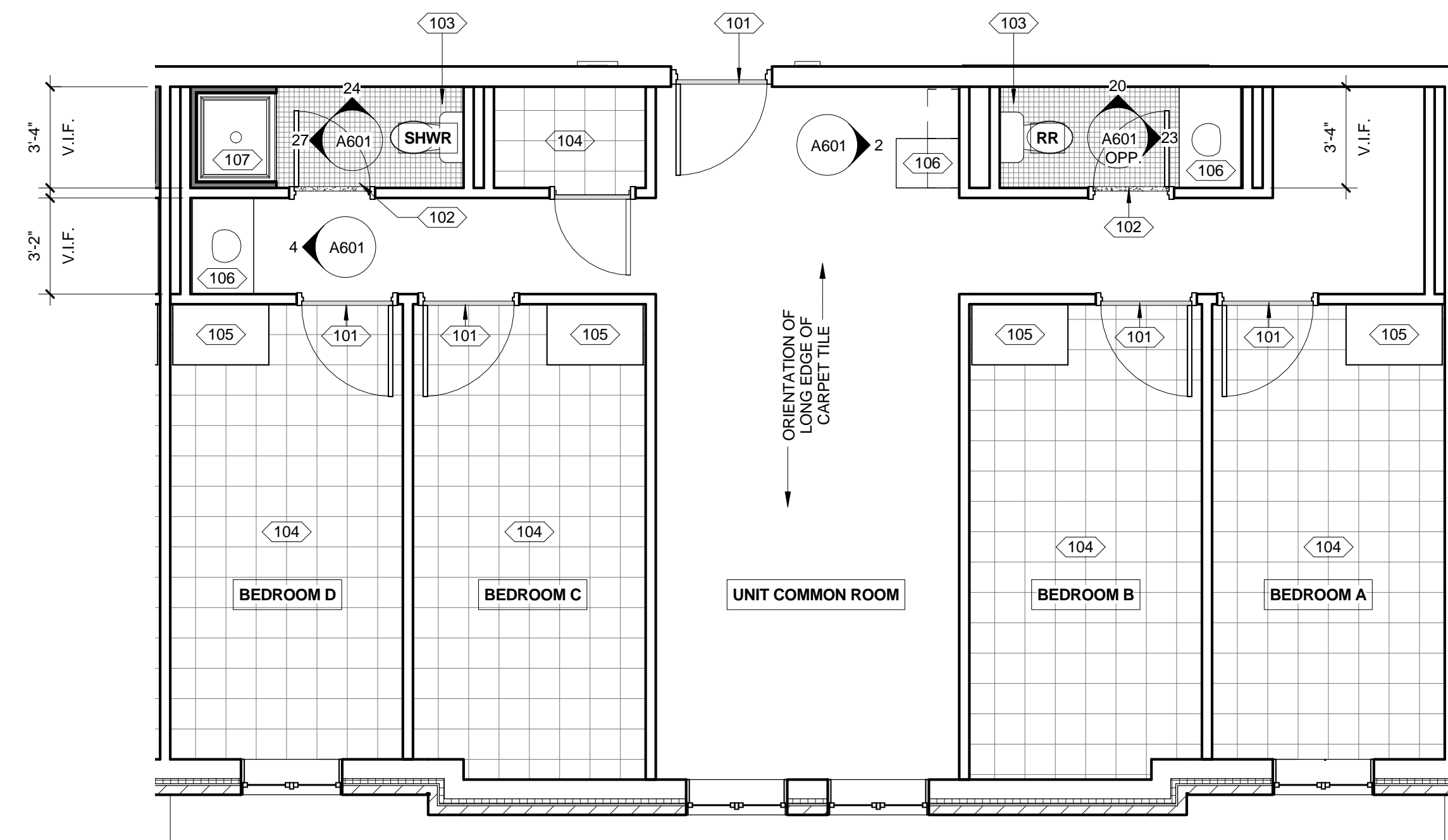


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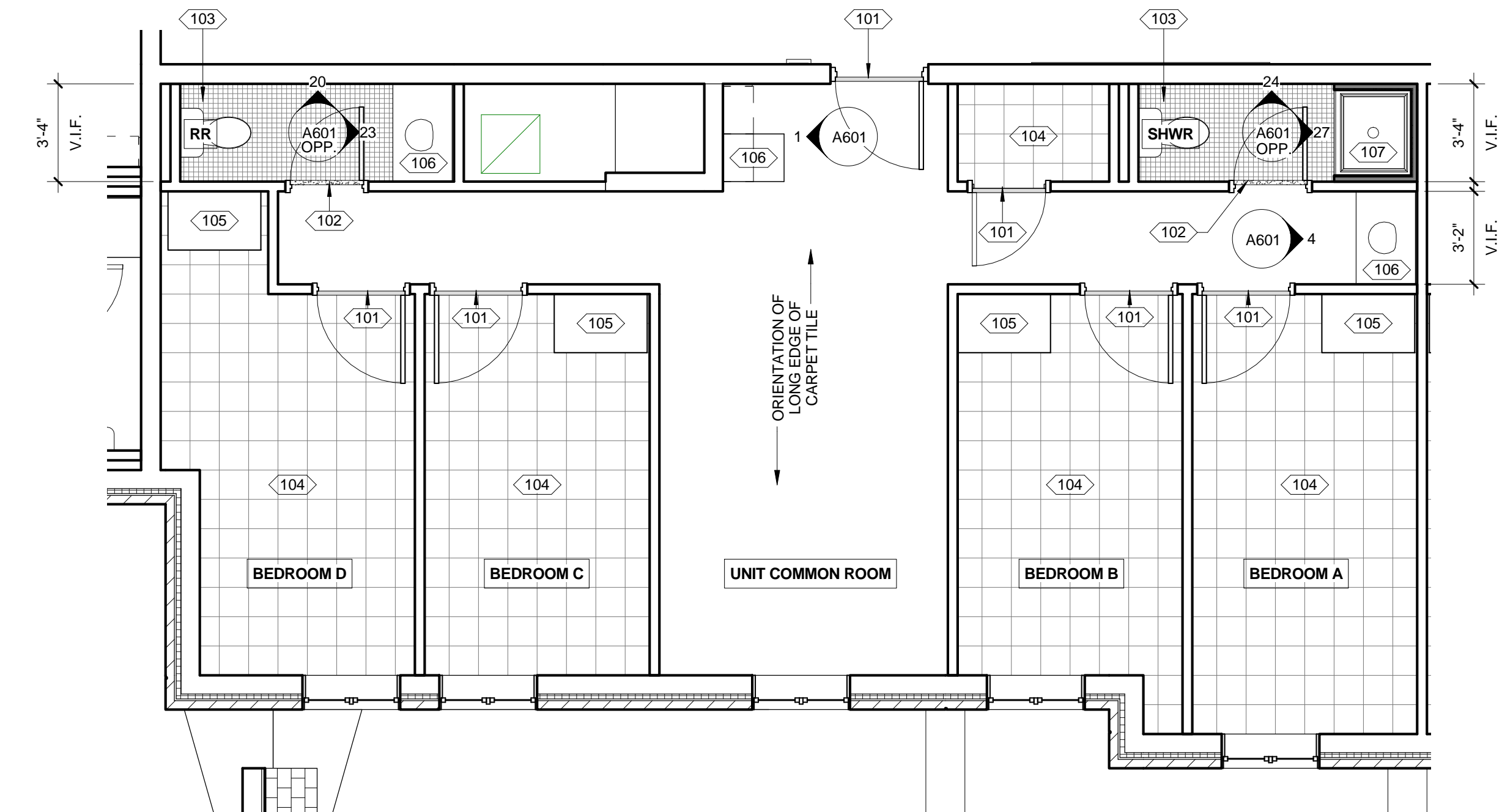
KEYNOTES - ENLARGED FLOOR PLANS	
Number	Keynote
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104	NEW VCT FLOORING - CENTER PATTERN IN ROOM AS INDICATED.
105	EXISTING CASEWORK TO REMAIN.
106	NEW CASEWORK. SEE INTERIOR ELEVATIONS.
107	NEW SHOWER STALL. SEE DETAIL SHEET A621.
108	NEW ACCESSIBLE SHOWER STALL. SEE DETAIL SHEET A621 SIMILAR.
110	EXTEND NEW FLOOR, BASE AND WALL TILE TO MATCH EXISTING UNDER COUNTER WHERE EXISTING BASE CABINETS REMOVED.
111	U.N.O. REINSTALL EXISTING SOAP, TOILET TISSUE AND PAPER TOWEL DISPENSERS AND WASTE AND NAPKIN RECEPTACLES IN ORIGINAL LOCATIONS.
112	NEW TOILET PARTITION.
114	48" H. x 60" W. WHITE BOARD MOUNTED 36" AFF.
115	EXISTING SHOWER PAN TO REMAIN. CLEAN AND PREP FOR NEW SHOWER WALL / DOOR ENCLOSURE.
116	NEW GLASS SHOWER WALL / DOOR ENCLOSURE. FIELD VERIFY REQUIRED DIMENSIONS.
117	CLEAN AND RESEAL EXISTING TILE AND GROUT.
118	REPLACE VCT WITH NEW CARPET TO MATCH EXISTING ADJACENT.
119	ENAMELED STEEL URINAL SCREEN TO MATCH EXISTING TOILET COMPARTMENT THIS ROOM.

**GENERAL NOTES - ENLARGED FLOOR PLANS**

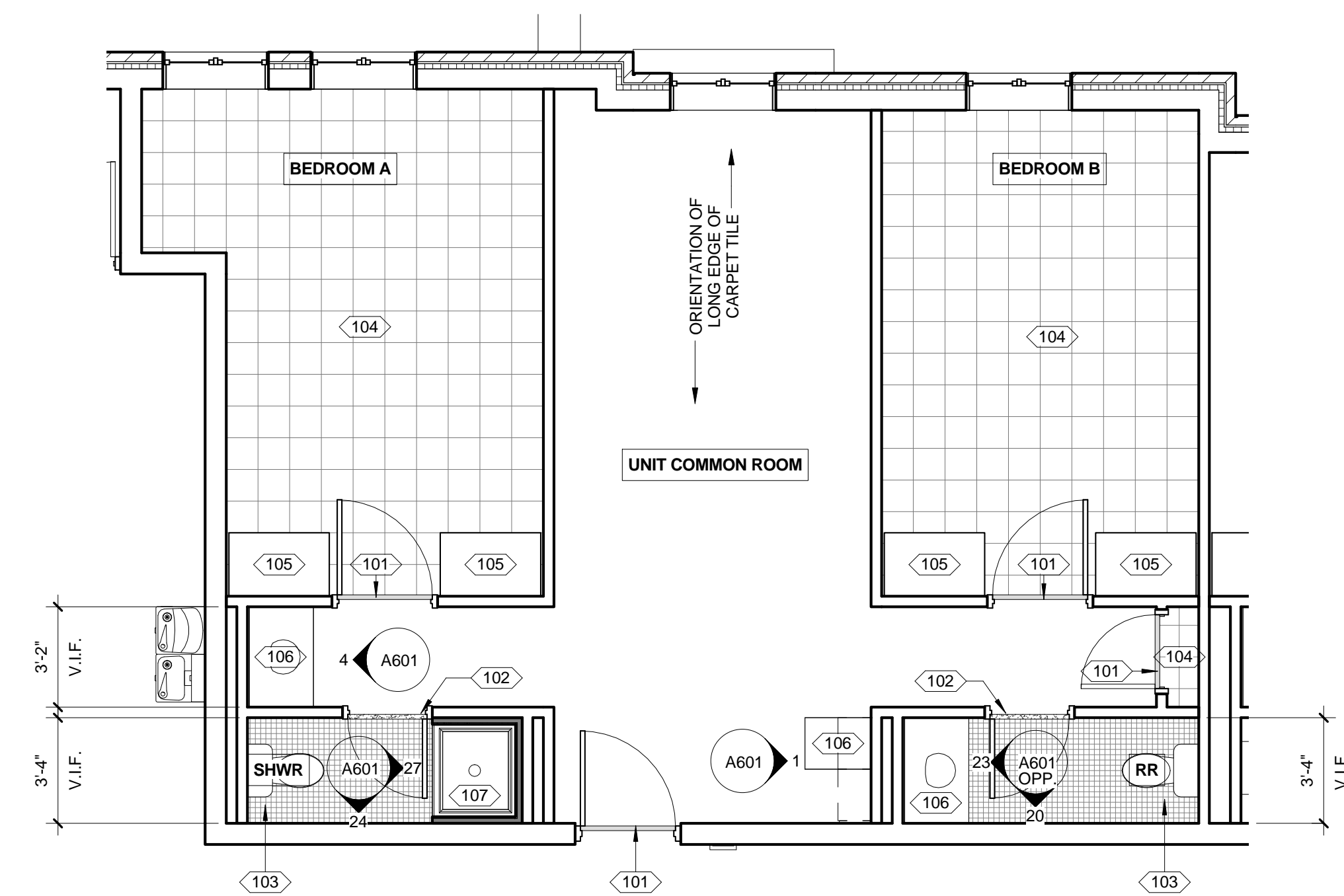
1. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
2. ENLARGED UNIT TYPE PLANS APPLY TO ALL UNITS OF THAT TYPE ON EACH FLOOR OF BUILDING.
3. ENLARGED UNIT TYPE PLANS APPLY TO ALL SIMILAR UNIT TYPES NOTED "OPPOSITE HAND" ON FLOOR PLANS.
4. SEE INTERIOR ELEVATIONS FOR NEW TOILET ACCESSORIES.
5. FIELD-VERIFY DIMENSIONS AND EXISTING CONDITIONS.
6. REPAIR/REPLACE EXISTING CERAMIC FLOOR/WALL TILE WHERE NEW WORK LEAVES ABANDONED MOUNTING HOLES EXPOSED.
7. SEE DOOR SCHEDULE FOR SCOPE OF DOOR, FRAME AND HARDWARE WORK.
8. SEE FURNISHINGS AND EQUIPMENT PLANS FOR APPLIANCE INFORMATION.



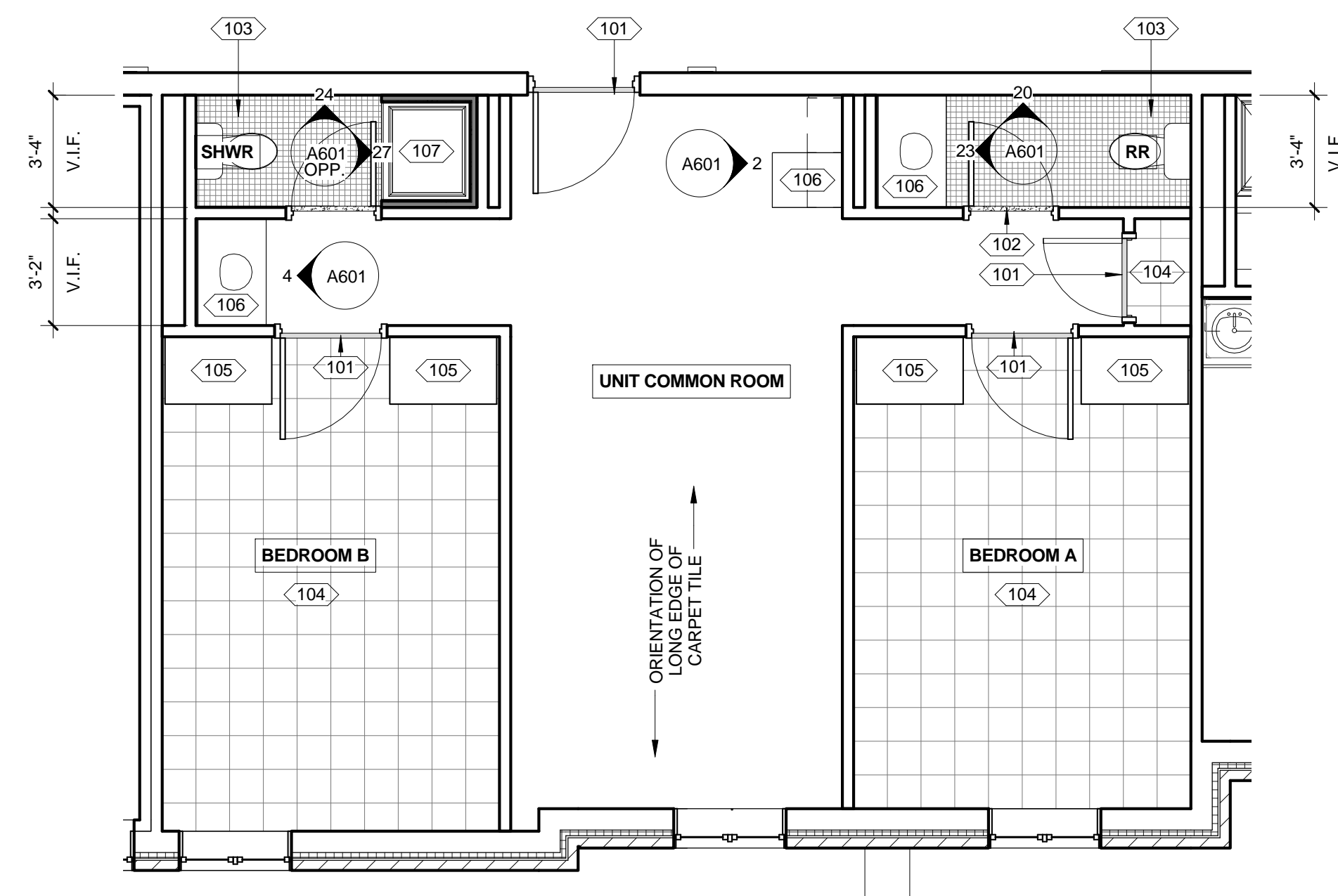
**4 FLOOR PLAN - UNIT TYPE "K"**  
1/4" = 1'-0"  
REF: 1 / A204



**3 FLOOR PLAN - UNIT TYPE "J"**  
1/4" = 1'-0"  
REF: 1 / A204



**2 FLOOR PLAN - UNIT TYPE "H"**  
1/4" = 1'-0"  
REF: 1 / A203



**1 FLOOR PLAN - UNIT TYPE "G"**  
1/4" = 1'-0"  
REF: 1 / A202

SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE	
DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

DWG TITLE  
**ENLARGED  
UNIT PLANS**

SHEET NO.  
**A422**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
v. (513) 665-9555  
f. (513) 665-9857

**glaserworks**  
architecture & urban design



**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**

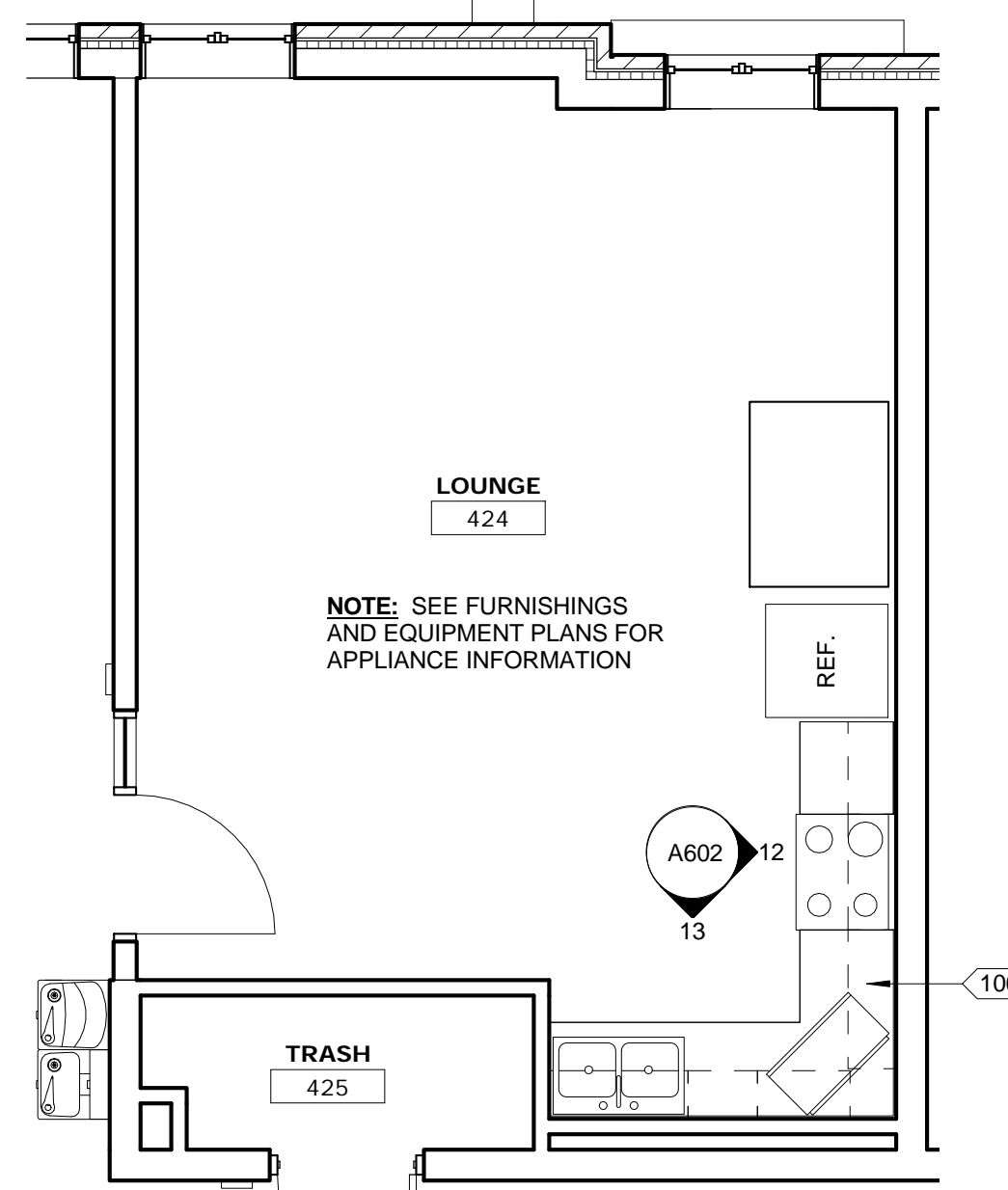


Fishbeck, Thompson, Carr &  
Huber, Inc.  
11353 Reed Hartman Hwy.,  
Suite 500  
Cincinnati, OH 45241  
513-469-2370

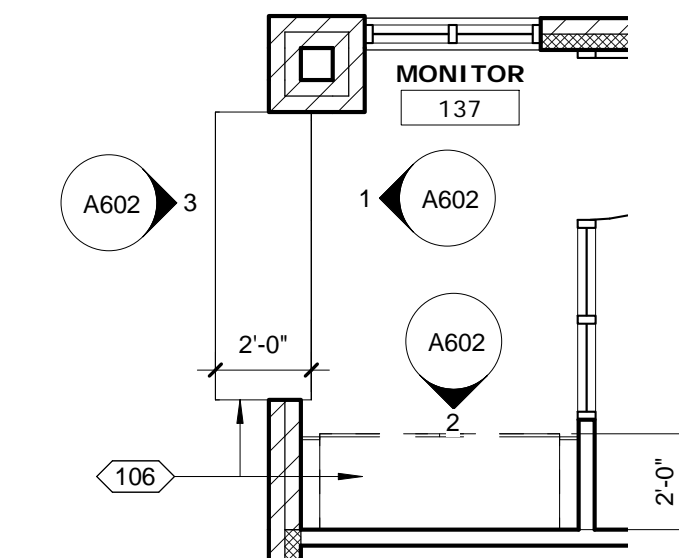
KEYNOTES - ENLARGED FLOOR PLANS	
Number	Keynote
101	RESILIENT TRANSITION STRIP.
102	EXISTING MARBLE THRESHOLD TO REMAIN.
103	CLEAN AND RESEAL EXISTING CERAMIC TILE AND GROUT. REPLACE ANY DAMAGED OR MISSING TILE.
104	NEW VCT FLOORING - CENTER PATTERN IN ROOM AS INDICATED.
105	EXISTING CASEWORK TO REMAIN.
106	NEW CASEWORK. SEE INTERIOR ELEVATIONS.
107	NEW SHOWER STALL. SEE DETAIL SHEET A621.
108	NEW ACCESSIBLE SHOWER STALL. SEE DETAIL SHEET A621 SIMILAR.
110	EXTEND NEW FLOOR, BASE AND WALL TILE TO MATCH EXISTING UNDER COUNTER WHERE EXISTING BASE CABINETS REMOVED.
111	U.N.O. REINSTALL EXISTING SOAP, TOILET TISSUE AND PAPER TOWEL DISPENSERS AND WASTE AND NAPKIN RECEPTACLES IN ORIGINAL LOCATIONS.
112	NEW TOILET PARTITION.
114	48" H. x 60" W. WHITE BOARD MOUNTED 36" AFF.
115	EXISTING SHOWER PAN TO REMAIN. CLEAN AND PREP FOR NEW SHOWER WALL / DOOR ENCLOSURE.
116	NEW GLASS SHOWER WALL / DOOR ENCLOSURE. FIELD VERIFY REQUIRED DIMENSIONS.
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118	REPLACE VCT WITH NEW CARPET TO MATCH EXISTING ADJACENT.
119	ENAMELED STEEL URINAL SCREEN TO MATCH EXISTING TOILET COMPARTMENT THIS ROOM.

**GENERAL NOTES - ENLARGED FLOOR PLANS**

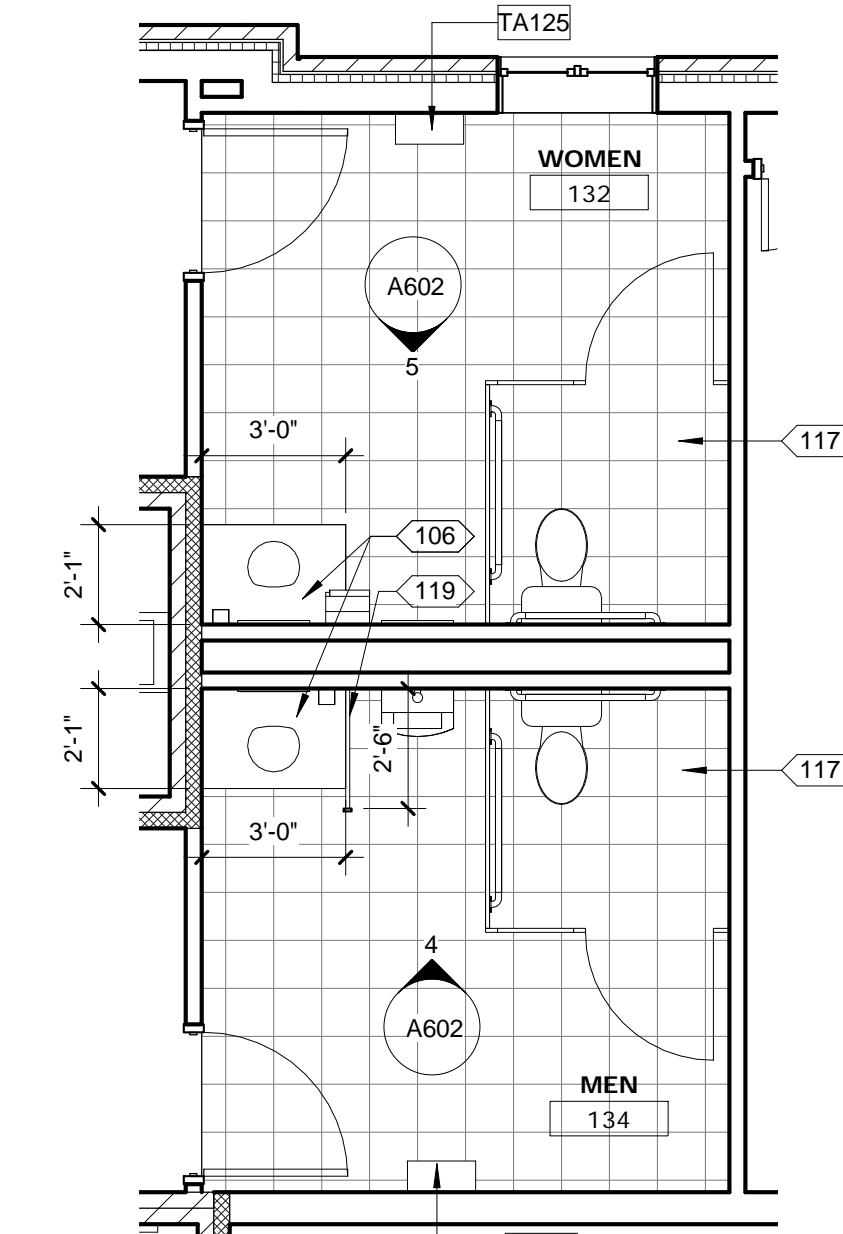
- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ENLARGED UNIT TYPE PLANS APPLY TO ALL UNITS OF THAT TYPE ON EACH FLOOR OF BUILDING.
- ENLARGED UNIT TYPE PLANS APPLY TO ALL SIMILAR UNIT TYPES NOTED 'OPPOSITE HAND' ON FLOOR PLANS.
- SEE INTERIOR ELEVATIONS FOR NEW TOILET ACCESSORIES.
- FIELD-VERIFY DIMENSIONS AND EXISTING CONDITIONS.
- REPAIR/REPLACE EXISTING CERAMIC FLOOR/WALL TILE WHERE NEW WORK LEAVES ABANDONED MOUNTING HOLES EXPOSED.
- SEE DOOR SCHEDULE FOR SCOPE OF DOOR, FRAME AND HARDWARE WORK.
- SEE FURNISHINGS AND EQUIPMENT PLANS FOR APPLIANCE INFORMATION.



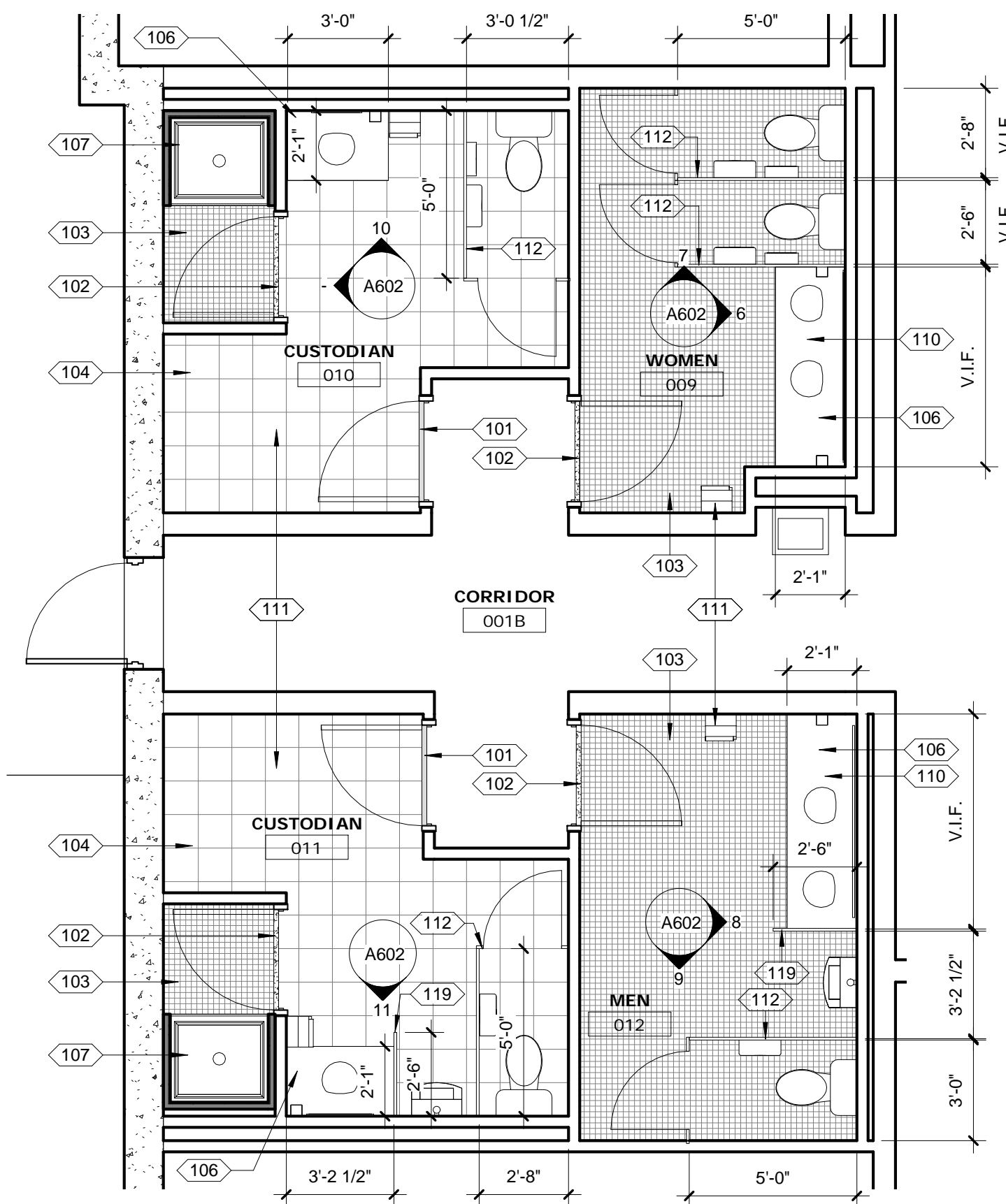
**10 FLOOR PLAN - LOUNGE 424**  
1/4" = 1'-0"  
REF: 1 / A204



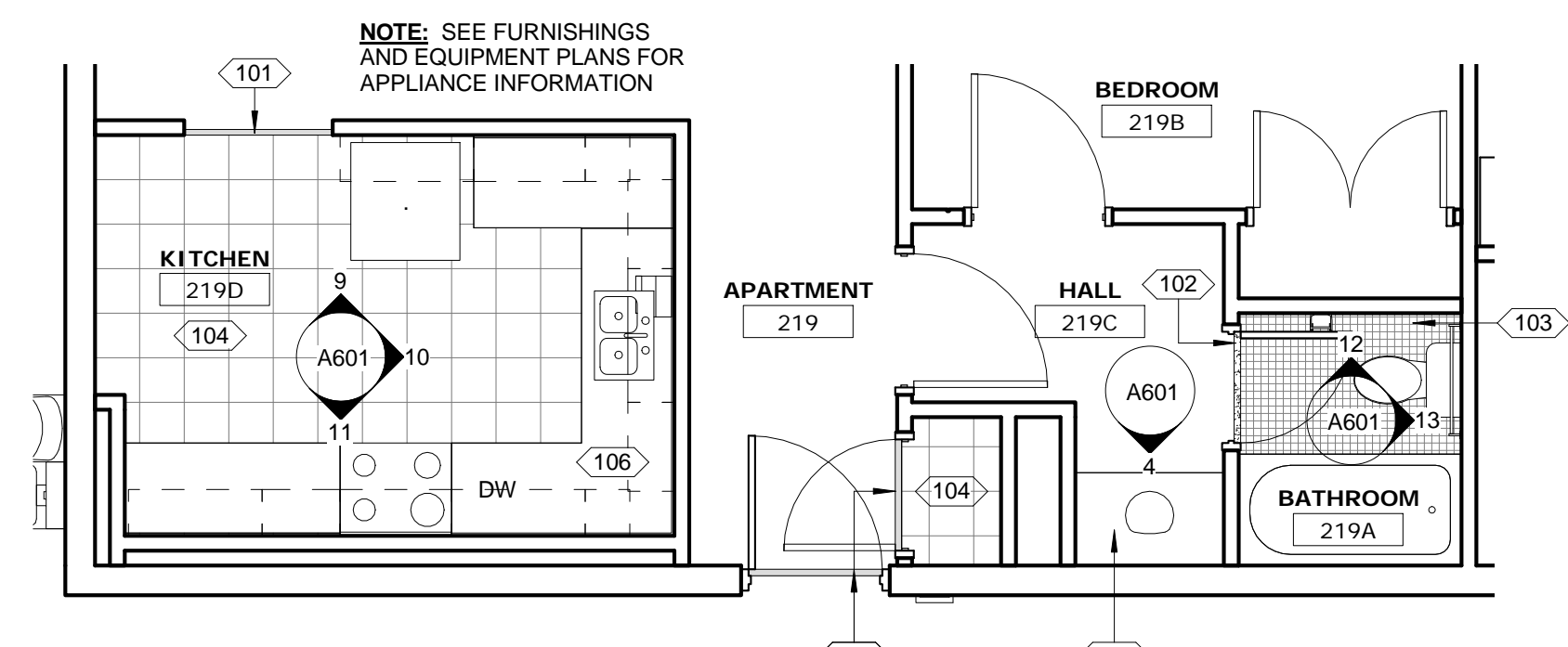
**9 FLOOR PLAN - OFFICE 137**  
1/4" = 1'-0"  
REF: 1 / A201



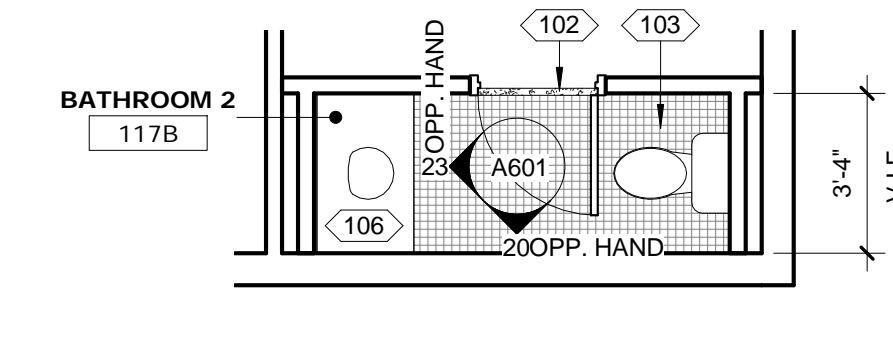
**8 FLOOR PLAN - RESTROOMS 132 / 134**  
1/4" = 1'-0"  
REF: 1 / A201



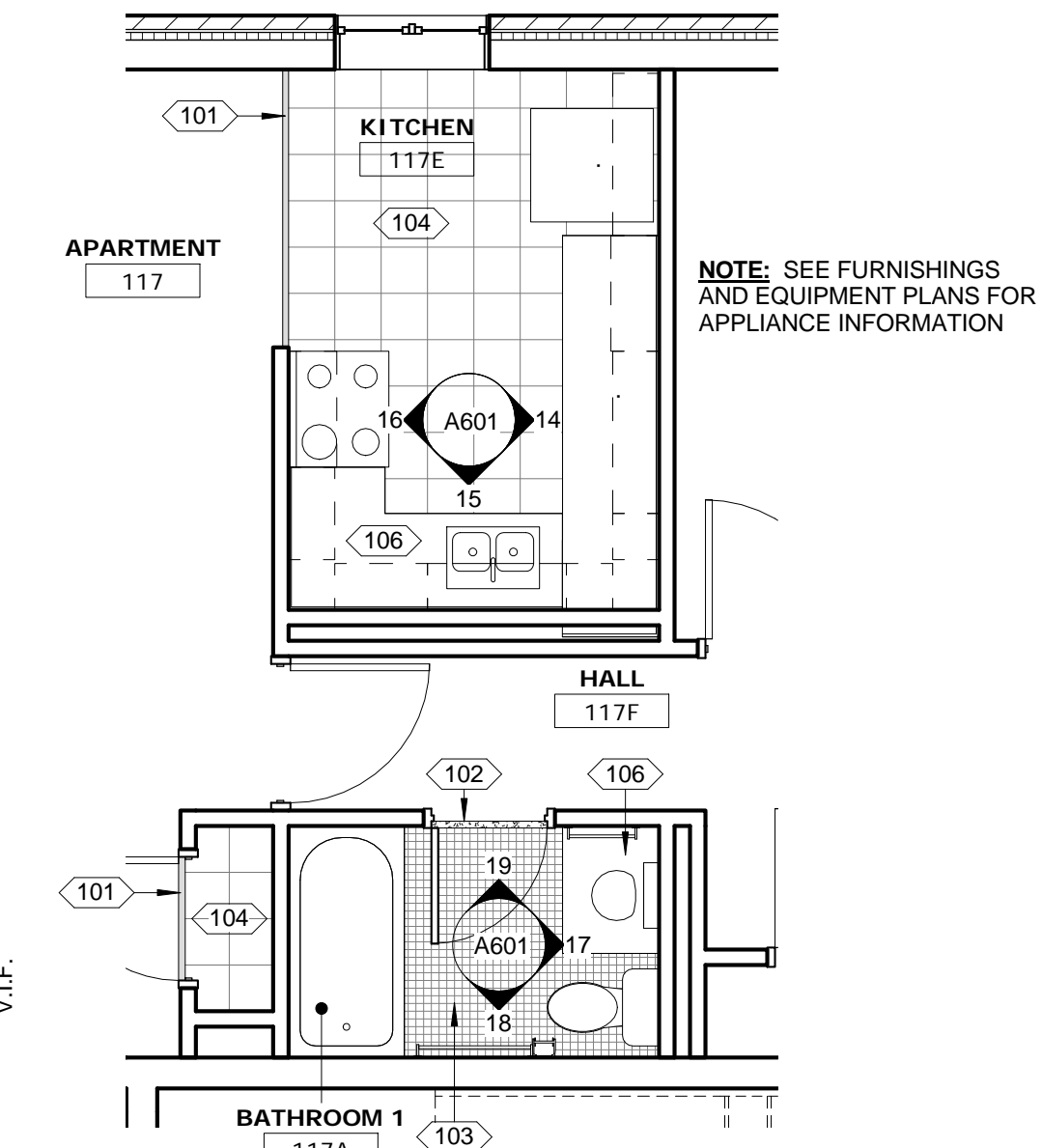
**7 FLOOR PLAN - LOWER LEVEL CUSTODIAL SUITE**  
1/4" = 1'-0"  
REF: 1 / A200



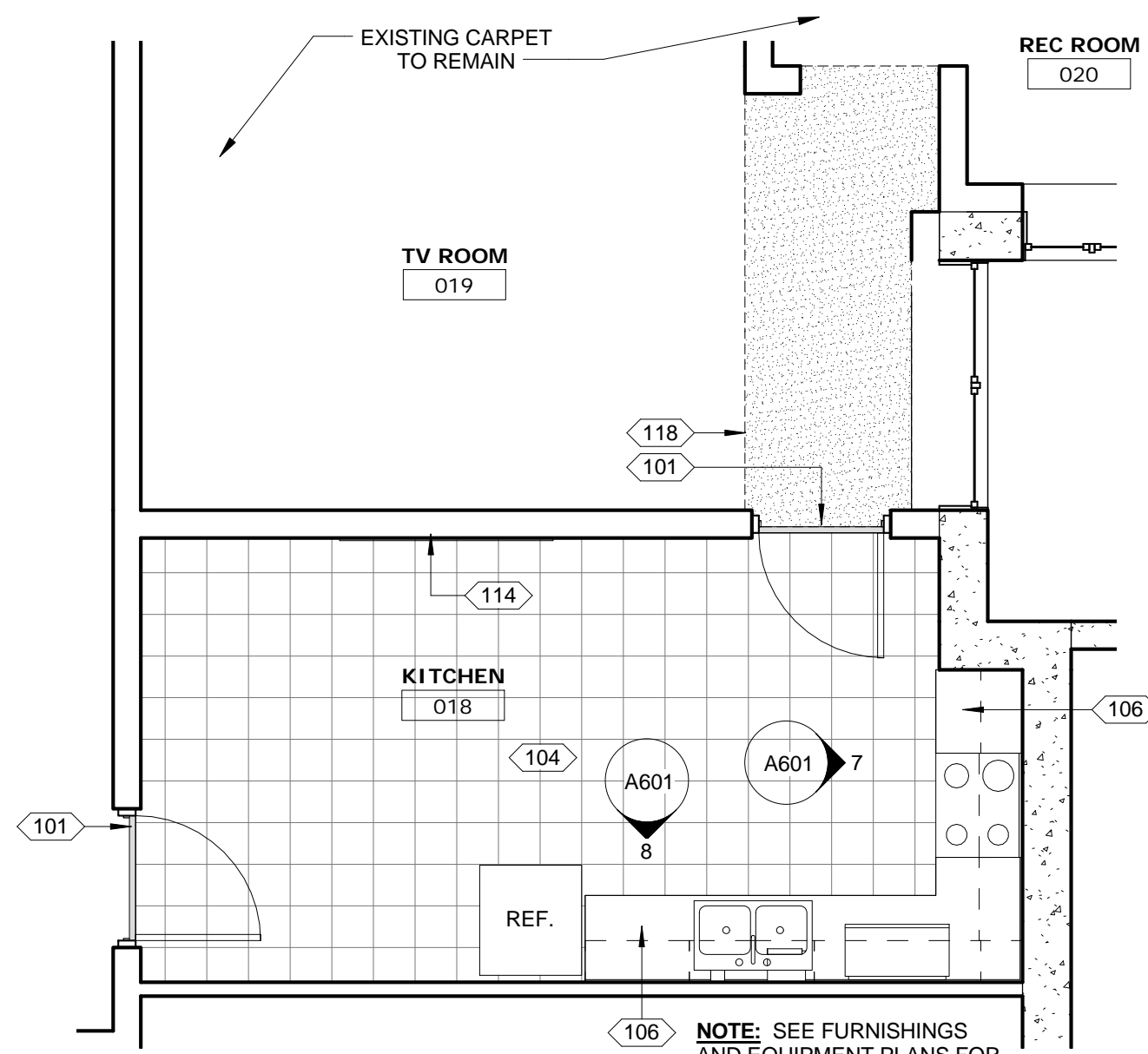
**6 FLOOR PLAN - APT. 219**  
1/4" = 1'-0"  
REF: 1 / A202



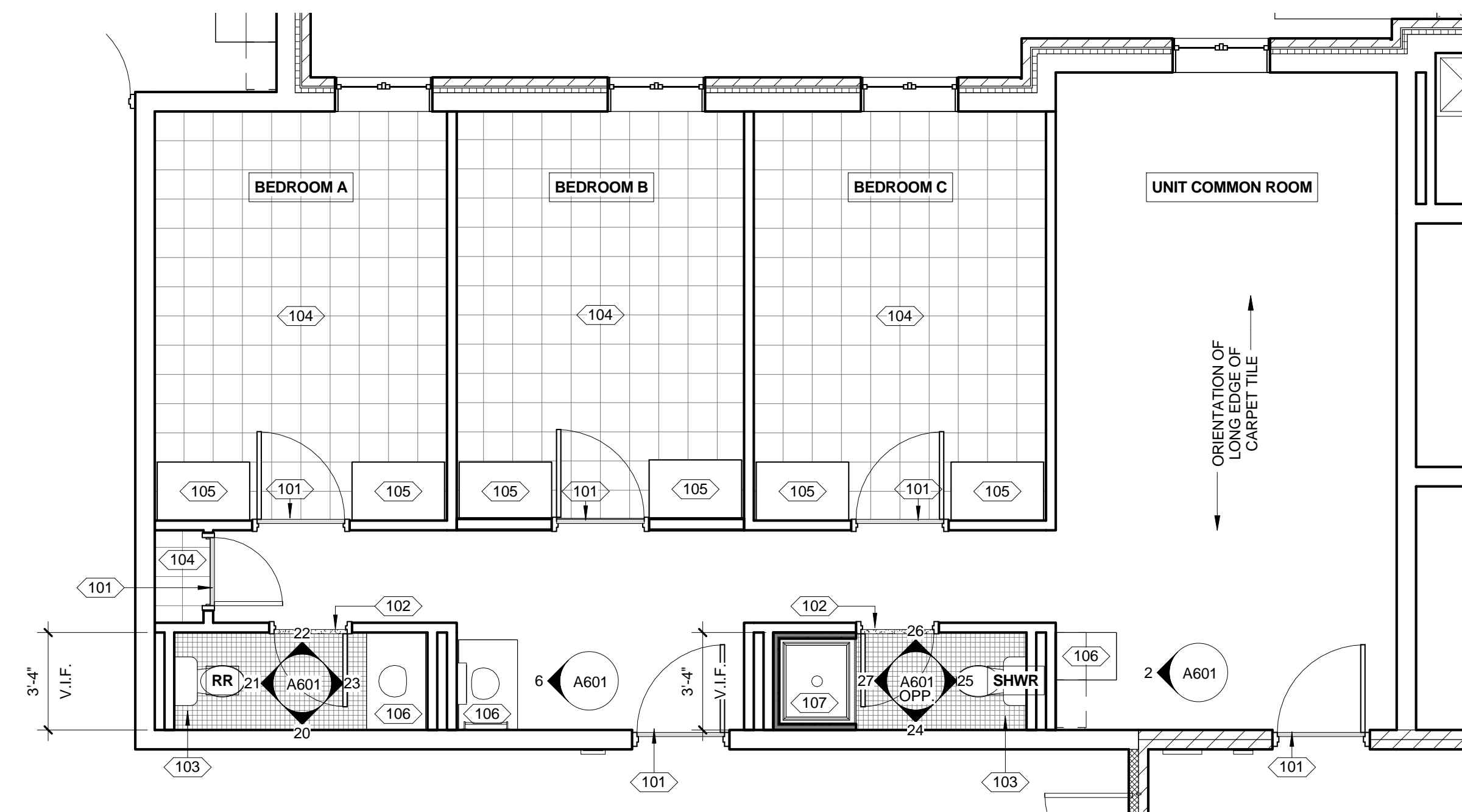
**5 FLOOR PLAN - BATH 117B**  
1/4" = 1'-0"  
REF: 1 / A201



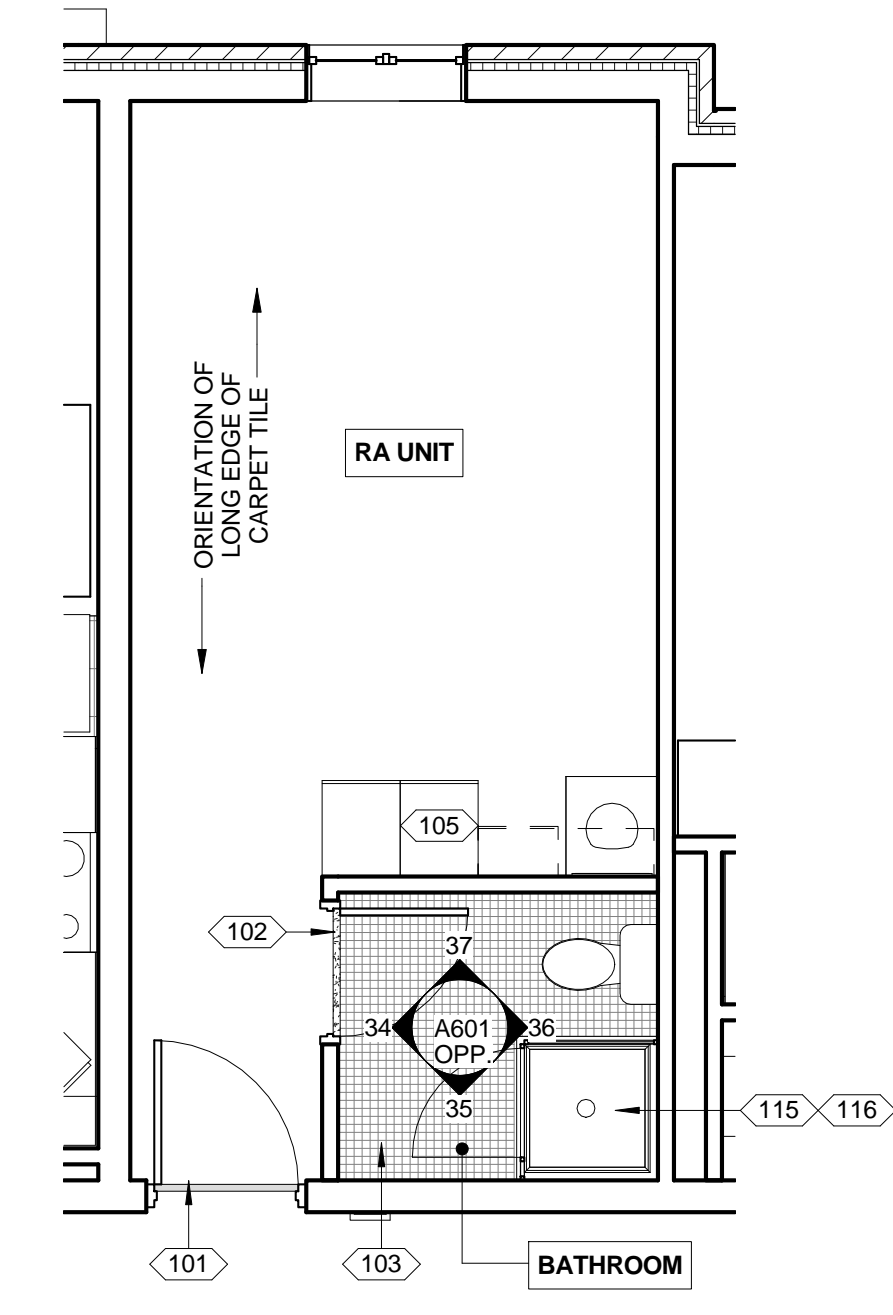
**4 FLOOR PLAN - KITCHEN / BATH 117**  
1/4" = 1'-0"  
REF: 1 / A201



**3 FLOOR PLAN - KITCHEN 018**  
1/4" = 1'-0"  
REF: 1 / A200



**2 FLOOR PLAN - UNIT TYPE "N"**  
1/4" = 1'-0"  
REF: 1 / A201



**1 FLOOR PLAN - UNIT TYPE "M"**  
1/4" = 1'-0"  
REF: 1 / A204

CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

REVISION

SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

**ENLARGED  
FLOOR PLANS**

SHEET NO.

**A423**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
v. (513) 665-9555  
f. (513) 665-9857

**glaserworks**  
architecture & urban design

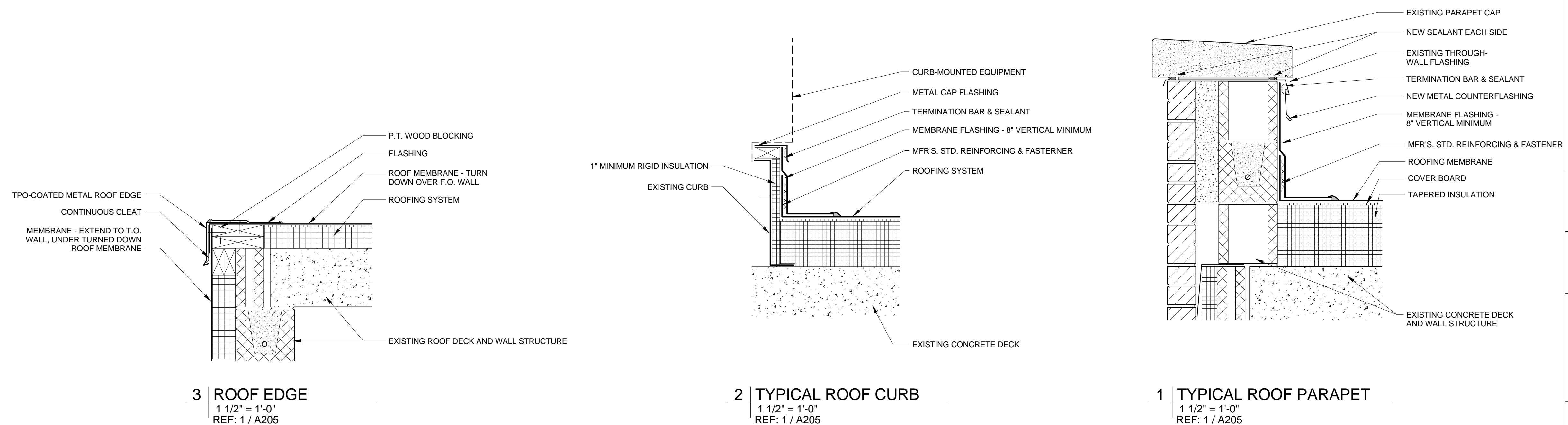


M.H. MALTINSKY, LICENSE #10106  
EXPIRATION DATE 12/31/2018

**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**



Fishbeck, Thompson, Carr &  
Huber, Inc.  
11353 Reed Hartman Hwy.,  
Suite 500  
Cincinnati, OH 45241  
513-469-2370



SHEET REVISION		
REV #	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

	03/21/2018	CONSTRUCTION DOCUMENTS
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NOTES

DWG TITLE **BUILDING ENVELOPE DETAILS**

SHEET NO. **A451**

DOOR SCHEDULE - LOWER, FIRST, SECOND FLOORS												
Mark	Width	Height	Thickness	Door Type	Door Material	Fire Rating	Frame Type	Frame Material	Hardware Set	Notes	Mark	
LOWER LEVEL												
001BX	3'-0"	7'-0"	1 3/4"	F	HM	-	EXIST	HM	24	3	001BX	
002X	3'-0"	7'-0"	1 3/4"	F-EX	HM	-	EXIST	HM	23	4	002X	
003.1	3'-0"	7'-0"	1 3/4"	F	HM	20 MIN	F2-EX	HM	8	3	003.1	
003.2	3'-0"	7'-0"	1 3/4"	F-EX	HM	-	F2-EX	HM	11A	4	003.2	
005	3'-0"	7'-0"	1 3/4"	N	WD	20 MIN	F2-EX	HM	18	3, 8	005	
006.1	3'-0"	7'-0"	1 3/4"	N	WD	20 MIN	F2-EX	HM	6	3	006.1	
006.2	3'-0"	7'-0"	1 3/4"	N	WD	-	EXIST	HM	20	3	006.2	
007	3'-0"	7'-0"	1 3/4"	N	WD	20 MIN	F2-EX	HM	25	3	007	
008	PR 3'-0"	7'-0"	1 3/4"	DN	HM	20 MIN	F2-EX	HM	13	3	008	
008X	3'-0"	7'-0"	1 3/4"	F	HM	-	EXIST	HM	24	-	008X	
009	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	EXIST	HM	15A	3	009	
010	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	EXIST	HM	8	3	010	
011	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	EXIST	HM	8	3	011	
012	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	EXIST	HM	15A	3	012	
014.1	3'-0"	7'-0"	1 3/4"	F	HM	-	F2-EX	HM	8	3	014.1	
014.2	3'-0"	7'-0"	1 3/4"	F-EX	HM	-	F2-EX	HM	11A	4	014.2	
014.3	3'-0"	7'-0"	1 3/4"	F-EX	HM	-	F2-EX	HM	11A	4	014.3	
015	3'-0"	7'-0"	1 3/4"	F-EX	HM	-	F2-EX	HM	11A	4	015	
017	3'-0"	7'-0"	1 3/4"	F	HM	-	F1	HM	20	-	017	
018.1	3'-0"	7'-0"	1 3/4"	N	WD	20 MIN	F2-EX	HM	19	3	018.1	
018.2	3'-0"	7'-0"	1 3/4"	N	WD	-	F2-EX	HM	19	3	018.2	
020.1	PR 3'-0"	7'-0"	1 3/4"	DN	WD	20 MIN	F2-EX	HM	13	3	020.1	
020.2	3'-0"	7'-0"	1 3/4"	N	WD	-	EXIST	HM	4	3	020.2	
021	PR 2'-8"	7'-0"	1 3/4"	DF-EX	HM	20 MIN	F2-EX	HM	11	4	021	
022	PR 3'-0"	7'-0"	1 3/4"	DN	WD	20 MIN	F2-EX	HM	13	3	022	
023	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	8	3	023	
024	PR 3'-0"	7'-0"	1 3/4"	DF	WD	20 MIN	F2-EX	HM	14	3	024	
024X	3'-0"	7'-0"	1 3/4"	F	HM	-	F2	HM	8	-	024X	
025	3'-0"	7'-0"	1 3/4"	F-EX	HM	-	F2-EX	HM	11A	4	025	
026	PR 3'-0"	7'-0"	1 3/4"	DF-EX	HM	-	F2-EX	HM	11A	4	026	
B0	3'-0"	7'-0"	1 3/4"	N	WD	20 MIN	F2	HM	9	3	B0	
BOX	3'-0"	7'-0"	1 3/4"	F	HM	-	F2	HM	24	-	BOX	

### NOTES

SEE SHEET A523

DOOR SCHEDULE - LOWER, FIRST, SECOND FLOORS												
Mark	Width	Height	Thickness	Door Type	Door Material	Fire Rating	Frame Type	Frame Material	Hardware Set	Notes	Mark	
FIRST FLOOR												
101	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	101	
101A	2'-8"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	-	4	101A	
102	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	102	
102A	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	102A	
102B	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	102B	
102C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	102C	
102D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	102D	
102E	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	102E	
102G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	102G	
103	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	17	1, 3, 7	103	
103A	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	1, 3	103A	
103B	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	103B	
103C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	1, 3, 7	103C	
103D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	103D	
103E	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	103E	
103F	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	103F	
104	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	104	
104A	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	104A	
104B	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	104B	
104C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	104C	
104D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	104D	
104G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	104G	
105	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	105	
105A	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	105A	
105B	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	105B	
105C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	105C	
105D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	105D	
105G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	105G	
106	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	106	
106A	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	106A	
106B	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	106B	
106C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	106C	
106D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	106D	
106E	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	106E	
107	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1, 1	3	107	
107A	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	107A	
107B	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	107B	
107C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	107C	
107D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	107D	
107G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	107G	
108	3'-0"	7'-0"	1 3/4"	F	WD	90 MIN	F2-EX	HM	2	3	108	
108.1	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	7	3	108.1	
108A	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	108A	
108B	2'-6"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	108B	
108C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	108C	
108D	3'-0"	7'-0"	1 3/4"	F	WD	-	F1-EX	HM	2	3	108D	
108E	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	108E	
108G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	108G	
110.1	3'-0"	7'-0"	1 3/4"	N-EX	WD	20 MIN	F2-EX	HM	11	4	110.1	
110.2	3'-0"	7'-0"	1 3/4"	N-EX	WD	20 MIN	F2-EX	HM	11	4	110.2	
110A	1'-6"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	-	4	110A	
111	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	-	4	111	
111A	2'-8"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	-	4	111A	
112	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	112	
112A	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	112A	
112B	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	112B	
112C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	112C	
112D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	112D	
112E	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	112E	
112G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	112G	
113	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	17	1, 3, 7	113	
113A	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	1, 3	113A	
113B	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	113B	
113C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2, 1	1, 3, 7	113C	
113D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	113D	
113E	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	113E	
113F	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	113F	
114	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	114	
114A	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	114A	
114B	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	114B	
114C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	114C	
114D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	114D	
114G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	114G	
115	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	115	
115A	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	115A	
115B	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	115B	
115C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	115C	
115D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	115D	
115G	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	115G	
116	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1	3	116	
116A	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	116A	
116B	2'-8"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	3	3	116B	
116C	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	116C	
116D	3'-0"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	2	3	116D	
116E	2'-4"	7'-0"	1 3/4"	F	WD	-	F2-EX	HM	4	3	116E	
117	3'-0"	7'-0"	1 3/4"	F	WD	20 MIN	F2-EX	HM	1, 1	3	117	
117A	2'-6"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	11A	4	117A	
117B	2'-6"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	11A	4	117B	
117C	3'-0"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	11A	4	117C	
117D	3'-0"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	11A	4	117D	
117F	3'-0"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	11A	4	117F	
117G.1	2'-8"	7'-0"	1 3/4"	F-EX	WD	-	F2-EX	HM	-	4	117G.1	
117G.2	PR 3'-0"	7'-0"	1 3/4"	DF-EX	WD	-	F2-EX	HM	-	4	117G.2	
117G.3	PR 2'-0"	7'-0"	1 3/4"	DF-EX	WD	-	F2-EX	HM	-	4	117G.3	
117X	3'-0"	7'-0"	1 3/4"	F-EX	HM	-	F2-EX	HM	26	4	117X	
121A	3'-0"	7'-0"	1 3/4"	N	HM	90 MIN	F2-EX	HM	16	3, 7	121A	
121B	3'-0"	7'-0"	1 3/4"	N	HM	90 MIN	F2-EX	HM				

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
v. (513) 665-9555  
f. (513) 665-9857

**glaserworks**  
architecture & urban design



**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**



Fishbeck, Thompson, Carr &  
Huber, Inc.  
11353 Reed Hartman Hwy.,  
Suite 500  
Cincinnati, OH 45241  
513-469-2370

DOOR SCHEDULE - THIRD & FOURTH FLOORS											
Mark	Width	Height	Thickness	Door Type	Door Material	Frame Type	Frame Material	Fire Rating	Hardware Set	Notes	Mark
THIRD FLOOR											
301	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	301
301A	2'-8"	7'-0"	1 3/4"	F - EX	WD	F2 - EX	HM	-	-	4	301A
302	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	302
302A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	302A
302B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	302B
302C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	302C
302D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	302D
302E	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	302E
302G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	302G
303	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	17	1, 3, 7	303
303A	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	1, 3	303A
303B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	303B
303C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2.1	1, 3, 7	303C
303D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	303D
303E	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	303E
303F	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	303F
304	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	304
304A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	304A
304B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	304B
304C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	304C
304D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	304D
304G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	304G
305	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	305
305A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	305A
305B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	305B
305C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	305C
305D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	305D
305G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	305G
306	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	306
306A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	306A
306B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	306B
306C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	306C
306D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	306D
306G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	306G
307	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1.1	3	307
307A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	307A
307B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	307B
307C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	307C
307D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	307D
307G	2'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	307G
308	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	308
308.1	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	7	3	308.1
308A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	308A
308B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	308B
308C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	308C
308D	3'-0"	7'-0"	1 3/4"	F	WD	F1 - EX	HM	-	2	3	308D
308E	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	308E
308G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	308G
309	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	309
309A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	309A
309B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	309B
309C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	309C
309D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	309D
309G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	309G
310	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	310
310A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	310A
310B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	310B
310C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	310C
310D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	310D
310G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	310G
311	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	311
311A	2'-8"	7'-0"	1 3/4"	F - EX	WD	F2 - EX	HM	-	-	4	311A
312	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	312
312A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	312A
312B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	312B
312C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	312C
312D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	312D
312E	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	312E
312G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	312G
313	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	17	1, 3, 7	313
313A	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	1, 3	313A
313B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	313B
313C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2.1	1, 3, 7	313C
313D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	313D
313E	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	313E
313F	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	313F
314	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	314
314A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	314A
314B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	314B
314C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	314C
314D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	314D
314G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	314G
315	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	315
315A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	315A
315B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	315B
315C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	315C
315D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	315D
315G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	315G
316	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	316
316A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	316A
316B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	316B
316C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	316C
316D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	316D
316G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	316G
317	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1.1	3	317
317A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	317A
317B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	317B
317C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	317C
317D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	317D
317G	2'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	317G
318	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	318
318A	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	318A
318B	2'-8"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	318B
318C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	318C
318D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	318D
318G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	318G
319	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	319
319A	2'-6"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	319A
319B	2'-6"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	3	3	319B
319C	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	319C
319D	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	2	3	319D
319G	2'-4"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	-	4	3	319G
323	3'-0"	7'-0"	1 3/4"	F	HM	F2 - EX	HM	-	8	3	323
325	3'-0"	7'-0"	1 3/4"	F	HM	F2 - EX	HM	20 MIN	5	3	325
326	3'-0"	7'-0"	1 3/4"	F - EX	HM	F2 - EX	HM	20 MIN	11	4	326
327	3'-0"	7'-0"	1 3/4"	F - EX	HM	F2 - EX	HM	20 MIN	11	4	327
328	3'-0"	7'-0"	1 3/4"	F	HM	F2 - EX	HM	20 MIN	5	3	328
A3	3'-0"	7'-0"	1 3/4"	N - EX	WD	F2 - EX	HM	90 MIN	10	4	A3
B3	3'-0"	7'-0"	1 3/4"	N - EX	WD	F2 - EX	HM	90 MIN	10	4	B3
C3	3'-0"	7'-0"	1 3/4"	N - EX	WD	F2 - EX	HM	90 MIN	10	4	C3
D3	3'-0"	7'-0"	1 3/4"	N - EX	WD	F2 - EX	HM	90 MIN	10	4	D3

DOOR SCHEDULE - THIRD & FOURTH FLOORS											
Mark	Width	Height	Thickness	Door Type	Door Material	Frame Type	Frame Material	Fire Rating	Hardware Set	Notes	Mark
FOURTH FLOOR											
401	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	401
401A	2'-8"	7'-0"	1 3/4"	F - EX	WD	F2 - EX	HM	-	-	4	401A
402	3'-0"	7'-0"	1 3/4"	F	WD	F2 - EX	HM	20 MIN	1	3	402</

**SET 01 SUITE/APARTMENT ENTRY DOORS**

EACH TO HAVE:		
3	HINGES	TA2714 4.5X4.5
1	CARD-PIN DORM ENTRY	70-KPPG-82276 LNL
1	CLOSER	351-OT
1	WALL STOP	401
1	CYLINDER CORE	8850-25-1207
1	DOOR VIEWER	622 (60" AFF)
1 set	SMOKE GASKET	S88CL

**SET 01.1 DOORS# 107, 117, 207, 217, 307, 317**

EACH TO HAVE:		
3	HINGES	TA2714 4.5X4.5
1	CARD-PIN DORM ENTRY	70-KPPG-82276 LNL
1	CLOSER	351-OT
1	CYLINDER CORE	8850-25-1207
1	DOOR VIEWER	622 (60" AFF)
1 set	SMOKE GASKET	S88CL

**SET 02 BEDROOM DOORS**

EACH TO HAVE:		
3	HINGES	TA2714 4.5X4.5
1	CARD BEDROOM ENTRY	70-PG-82278 LNL
1	OH STOP	1548S
1	CYLINDER CORE	8850-25-1207
3	DOOR FRAME SILENCERS	608-RKW

**SET 02.1 HANDICAPPED BEDROOM ENTRANCE**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 X 4.5
1	CARD BEDROOM ENTRY	70-PG-82278 LNL
1	CYLINDER CORE	8850-25-1207
1	AUTO OPERATOR	E900
1	ELEC. STRIKE	1006 X NEC FACE PLATE (FAIL SECURE)
1	RF RECEIVER	8056 (MATCH EXISTING)
1	WIRING DIAGRAM	

**SET 03 BATHROOM DOOR**

EACH TO HAVE:		
3	HINGES	TA2714 4.5X4.5
1	MORTISE PRIVACY LOCK	49-8265-LNL
1	OH STOP	1548S
3	DOOR FRAME SILENCERS	608-RKW

Note: Size doors for a 1" undercut above finished floor

**SET 04 UNIT CLOSET DOOR**

EACH TO HAVE:		
3	HINGES	TA2714 4.5X4.5
1	MORTISE PASSAGE LOCK	8215-LNL
3	DOOR FRAME SILENCERS	608-RKW
1	OH STOP	1548S (SIZE T.B.C.)

**SET 05 TRASH DOOR**

EACH TO HAVE:		
3	HINGES	TA2714 4.5X4.5
1	MORTISE PASSAGE LOCK	8215-LNL
1	CLOSER	351PS
1	ARMOR PLATE	K1050-32"x 2"LDW
1 set	SMOKE GASKET	S88

**SET 06 LOUNGE DOOR**

EACH TO HAVE:		
3	HINGES	TA2714 4.5X4.5
1	MORTISE PASSAGE LOCK	8215-LNL
1	CLOSER	351PS
1 set	SMOKE GASKET	S88

**SET 07 SUITE N SECOND CORR. ENTRANCE (DR 208.1, 308.1, 408.1)**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 x 4.5
1	MORTISE DOUBLE LOCKING	70-8259-LNL
2	CYLINDER CORE	8850-25-1207
1 set	SMOKE GASKET	S88
1	CLOSER	351 OT
1	WALL STOP	401

**SET 08 JANITOR DOOR**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 x 4.5
1	MORTISE STOREROOM LOCK	70-8204-LNL
1	CYLINDER CORE	8850-25-1207
1	KICK PLATE	K1050 12" x 2"LDW
1	CLOSER	351-OT
1 set	SMOKE GASKET	S88
1	WALL STOP	401

**SET 09 NEW STAIRWELL DOORS**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 x 4.5
1	RIM EXIT DEVICE	12-8815-ETL
1	CLOSER	351 OT
1 set	SMOKE GASKET	S88
1	KICK PLATE	K1050 12" x 2"LDW
1	WALL STOP	401

**SET 10 EXISTING STAIRWELL DOORS TO REMAIN**

EACH TO HAVE:		
1 set	SMOKE GASKET	S88
1	KICK PLATE	K1050 12" x 2"LDW
1	ALL OTHER HARDWARE TO REMAIN	

**SET 11 EXISTING LOCKED CORRIDOR DOORS TO REMAIN (RATED)**

EACH TO HAVE:		
1 set	SMOKE GASKET	S88
1	CYLINDER CORE	8850-25-1207
1	CYLINDER SHELL	70-41 (T.B.C)
1	BALANCE OF HARDWARE TO REMAIN	

**SET 11A EXISTING LOCKED DOORS TO REMAIN (NON RATED)**

EACH TO HAVE:		
1	CYLINDER CORE	8850-25-1207
1	CYLINDER SHELL	70-41 (T.B.C.)
3	DOOR FRAME SILENCERS	608-RKW
1	BALANCE OF HARDWARE TO REMAIN	

**SET 12 ROOF ACCESS DOOR**

EACH TO HAVE:		
3	HINGES	TA2314 4.5 x 4.5
1	MORTISE STOREROOM LOCK	70-8204-LNL
1	CYLINDER CORE	8850-25-1207
1	CLOSER	351-CPS
1	KICK PLATE	K1050 12" x 2"LDW
1 set	WEATHERSEAL	S88
1	THRESHOLD	154A
1	FRAME DRIP CAP	346C
1	SWEEP	3452 CNB

**SET 13 CHAPEL, REC ROOM, STUDY ROOM, LOADING DOCK**

EACH TO HAVE:		
6	HINGES	TA2714 4.5 x 4.5
1	MORTISE CLASSROOM LOCK	70-8237-LNL
1	CYLINDER CORE	8850-25-1207
2	CLOSER	351 PS
1 set	FLUSH BOLTS	2349
1 set	ASTRAGAL SMOKE SEAL	29324 CNB
1 set	SMOKE GASKET	S88
1	CORD	1672

**SET 14 MECHANICAL ROOM DOORS**

EACH TO HAVE:		
6	HINGES	TA2714 4.5 x 4.5
1	MORTISE STOREROOM LOCK	70-8204-LNL
1	CYLINDER CORE	8850-25-1207
2	CLOSER	351-PS
1 set	FLUSH BOLTS	2849
1 set	ASTRAGAL SMOKE SEAL	23324 CNB
1 set	SMOKE GASKET	S88
1	CORD	1672 W/2 EA CLOSER BRACKETS

**SET 15 RESTROOMS (NON RATED)**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 X 4.5
1	PUSH	70C
1	PULL	110 X 70C
1	CLOSER	351 0
1	KICK PLATE	K1050 12" X 2" LDW
1	WALL STOP	401

**SET 15A RESTROOMS (RATED)**

EACH TO HAVE:		
3	HINGES	T2714 4.5 X 4.5
1	MORTISE PASSAGE LOCK	8215 LNL
1	CLOSER	351 0
1 set	SMOKE GASKET	S88
1	WALL STOP	401
1	ARMOR PLATE	K1050 32" X 2" LDW U.L.

**SET 16 CORRIDOR DOORS**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 X 4.5
1	RIM EXIT DEVICE	12-8815 ETL
1	AUTO OPERATOR	EXISTING REVISED
1 set	SMOKE GASKET	S88
1	KICK PLATE	K1050 12" X 2" LDW

**SET 17 ACCESSIBLE ENTRY DOORS**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 X 4.5
1	CARD-PIN DORM ENTRY	70-KPPG-82276 LNL
1	AUTO OP	EXISTING
1	WALL STOP	401
1	CYLINDER CORE	8850-25-1207
2	DOOR VIEWER	622 (43" & 60" AFF)
1 set	SMOKE GASKET	S88
1	ELECTRIC STRIKE	1006-CS

**SET 18 LAUNDRY**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 X 4.5
1	MORTISE PASSAGE LOCK	8215 LNL
1	LOW ENERGY OPERATOR	ED900-T
2	OPERATOR WALL SWITCHES	W/S-1 SQ4
1	ELECTRIC STRIKE	1006 CS
1	KICK PLATE	K1050 12" x 2" LDW

**SET 19 KITCHEN (018.1)**

EACH TO HAVE:		
3	HINGES	TA2714 4.5 X 4.5
1	MORTISE CLASSROOM	70-8237-LNL
1	CLOSER	351 0
1 set	SMOKE GASKET	S88
1	WALL STOP	401
1	CYLINDER CORE	8850-25-1207

**SET 20 OFFICE (DR 017)**

EACH TO HAVE:		
1	MORT CYLINDER	70-41
1	CYLINDER CORE	8850-25-1207

**SET 21 EXTERIOR ENTRY DOORS EAST**

EACH TO HAVE:		
2	CONT. HINGES	K-MCK-12HD DOOR HEIGHT
1	EXIT	16-70-NB-AD8410-106-862
1	EXIT	16-NB-AD8410-862
3	CYLINDER CORE	8850-25-1207
1	CLOSER	351 CPS W/351D W/581-2
1	THRESHOLD	154A
1	HC DOOR OPERATOR	REINSTALL EXISTING
1 set	WEATHER SEAL	BY DOOR SUPPLIER
2	SWEEPS	3452 CNB

**SET 21A EXTERIOR ENTRY DOOR WEST**

EACH TO HAVE:		
2	CONT. HINGES	K-MCK-12HD X DOOR HEIGHT
1	EXIT	16-70-NB-AD8410-106-862
1	EXIT	16-NB-AD8410 862
3	CYLINDER CORES	8850-25-1207
2	CLOSERS	351-CPS W/351D W/581-2
1	THRESHOLD	154A
1	HC DOOR OPERATOR	REINSTALL EXISTING
1 set	WEATHER SEAL	BY DOOR SUPPLIER
2	SWEEPS	3452 CNB

**SET 22 DORM BUILDING ENTRY DOORS EAST (DR 138)**

EACH TO HAVE:		
2	CONT. HINGES	K-MCK-12HD-EPT X DOOR HEIGHT
1	ELECTRIFIED EXIT	70-55-56-NB-AD8410-106-862
1	ELECTRIFIED EXIT	55-56-NB-AD8410-862
1	CYLINDER CORE	8850-25-1207
1	CLOSER	351 CPS W/351D W/581-2
1	NOTE: 110 DEG RHR LEAF	
2	EPT	EL-CEPT-10
2	DOOR CABLES	QC-200P
2	FRAME CABLES	QC1500P
1	HARDWARE POWER SUPPLY	AL400ACM (REPLACE EXISTING)
2	DOOR POSITION SWITCH	180MC-12
1	HC DOOR OPERATOR	REINSTALL EXISTING
1	CARD READER	EXISTING TO REMAIN
1	DOOR CONTROL PANEL	EXISTING TO REMAIN
1 set	WEATHER SEAL	BY DOOR SUPPLIER
2	SWEEPS	293100 CNB

**SET 22A DORM BUILDING ENTRY DOORS WEST (DR 139)**

EACH TO HAVE:		
1	CONT. HINGE	K-MCK-12HD-EPT X DOOR HEIGHT
1	CONT. HINGE	K-MCK-12HD X DOOR HEIGHT
1	ELECTRIFIED EXIT	70-56-NB-AD8410 106-862
1	EXIT	NB-AD8410-862
1	CYLINDER CORE	8850-25-1207
2	CLOSERS	351-CPS W/351D W/581-2
1	EPT	EL-CEPT-10
1	DOOR CABLE	QC-200P
1	FRAME CABLE	QC1500P
1	HARDWARE POWER SUPPLY	AL400ACM (REPLACE EXISTING)
2	DOOR POSITION SWITCHES	180MC-12
1	HC DOOR OPERATOR	REINSTALL EXISTING
1	CARD READER	EXISTING TO REMAIN
1	DOOR CONTROL PANEL	EXISTING TO REMAIN
1 set	WEATHER SEAL	BY DOOR SUPPLIER
2	SWEEPS	293100 CNB

**SET 23 EXTERIOR STAIR**

EACH TO HAVE:		
1	RIM CYLINDER	70-34
1	CYLINDER CORE	8850-25-1207
1 set	SMOKE GASKET	S88
1	FRAME DRIP CAP	46C

**SET 24 NEW EXTERIOR STAIR**

EACH TO HAVE:		
3	HINGES	TA2314 4.5 X 4.5
1	EXIT	8810
1	CLOSER	351-PS
1 set	GASKET	S88
1	THRESHOLD	425-36
1	FRAME DRIP CAP	346C
1	SWEEP	3452 CNB
1	NOTE: DPS REUSED	

**SET 25 RA OFFICE / MUSIC (DR 007, 135, 136.1, 136.2)**

NOTE: 136.2 NOT RATED, SMOKE GASKET NOT REQ.

EACH TO HAVE:		
3	HINGES	TA2714 4.5 X 4.5
1	CARD LOCK ENTRY	70-PG-82278 LNL
1	CLOSER	351 0
1 set	SMOKE GASKET	S88
1	WALL STOP	401
1	CYLINDER CORE	8850-25-1207

**SET 26 HALL DIRECTOR EXTERIOR DOOR (DR 117X)**

EACH TO HAVE:		
1	CARD-PIN DORM ENTRY	70-KPPG-82276 LNL
1 set	SMOKE GASKET	S88CL
1	THRESHOLD	425-36
1	FRAME DRIP CAP	346C
1	SWEEP	3452 CNB

**HARDWARE PACKAGE SHALL ALSO INCLUDE: PERSONA PG LOCK MATERIAL**

EACH TO HAVE:		
1	LOCKLINK PDA	HX2490B
1	CARD ENCODER	6955023
1	LOCK CONTACT CARD	8501430
1	BLOCK MOUNTED CARD-PIN	70-KPPG82276 LNL
1	CARD-PIN DORM ENTRY	70-KPPG82276 LNL (ATTIC STOCK)
1	CARD BEDROOM ENTRY	70-PG82278 LNL (ATTIC STOCK)

**ALTERNATE A-A3**

<b>SET 01 &amp; 01.1 SUITE/APARTMENT ENTRY DOORS</b>		
DELETE CARD-PIN DORM ENTRY	70-KPPG-82276 LNL	26D PERSONA
ADD WIFI CARD-PIN DORM ENTRY	70-KPP2-82276 LNL	26D PERSONA

<b>SET 02 BEDROOM DOORS</b>		
DELETE CARD BEDROOM ENTRY	70-PG-82278 LNL	26D PERSONA
ADD WIFI CARD BEDROOM ENTRY	70-P2-82278 LNL	26D PERSONA

<b>SET 02.1 &amp; 17 ACCESSIBLE ENTRY DOORS</b>		
DELETE CARD-PIN DORM ENTRY	70-KPPG-82276 LNL	26D PERSONA
ADD WIFI CARD-PIN DORM ENTRY	70-KPP2-82276 LNL	26D PERSONA

<b>SET 25 RA OFFICE (DR 135, 137, 136, 136.2)</b>		
DELETE CARD LOCK ENTRY	70-PG-82278 LNL	26D PERSONA
ADD WIFI CARD LOCK ENTRY	70-P2-82278 LNL	26D PERSONA

<b>SET 99 PERSONA PG LOCK MATERIAL</b>		
DELETE ALL ITEMS NOTED		
ADD 1 BLOCK MOUNTED WIFI CARD-PIN	70-KPP2-82276 LNL	26D PERSONA

**ABBREVIATIONS USED**

AV	=	ACRVIN
AX	=	ALTRONIX
CORD	=	COORDINATOR
DR	=	DORMA
DPS	=	DOOR POSITION SWITCH
EPT	=	ELECTRIC POWER TRANSFER
GRI	=	GEORGE RISK INDUSTRIES
HC	=	HANDICAP
HS	=	HES
MK	=	McKINNEY
NG	=	NATIONAL GUARD
OH	=	OVERHEAD
PDA	=	PERSONA LOCK PROGRAMING DEVICE
PE	=	PEMKO PRODUCTS
RF	=	RADIO FREQUENCY
RO	=	ROCKWOOD
SA	=	SARGENT
SC	=	SECURITRON

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
C



ROOM FINISH SCHEDULE - LOWER LEVEL									
Number	Name	Floor Finish	Base Finish	Wall Finish East	Wall Finish North	Wall Finish South	Wall Finish West	Ceiling Finish	Comments
001	CORRIDOR								NO NEW FINISHES
001A	CORRIDOR								NO NEW FINISHES
001B	CORRIDOR								NO NEW FINISHES
002	ELEVATOR LOBBY								NO NEW FINISHES
003	MECHANICAL								NO NEW FINISHES
004	VENDING	VCT	RB	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	VCT/RB TO MATCH EXISTING IN ADJACENT CORRIDOR
005	LAUNDRY	VCT-3	RB-3A	CONCRETE / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
006	STUDY								NO NEW FINISHES
007	MUSIC ROOM	CPT-3	RB-3	CONCRETE / PAINT	CONCRETE / PAINT	CONCRETE / PAINT	CMU / PAINT	ACT-1	NEW ACOUSTIC WALL PANELS - SEE SHEET A200
008	LOADING DOCK								NO NEW FINISHES
009	WOMEN	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	GWB (EXISTING)	EXISTING CT FLOOR/BASE AT SHOWER ROOM TO REMAIN
010	CUSTODIAN	VCT-4	RB-4A	CMU / PAINT	CONCRETE / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	EXISTING CT FLOOR/BASE AT SHOWER ROOM TO REMAIN
011	CUSTODIAN	VCT-4	RB-4A	CMU / PAINT	CONCRETE / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
012	MEN	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	GWB (EXISTING)	
013	STORAGE								NO NEW FINISHES
014	STORAGE								NO NEW FINISHES
015	TELEPHONE EQUIPMENT								NO NEW FINISHES
016	STORAGE								NO NEW FINISHES
017	OFFICE	CPT-3	RB-3	CMU / PAINT	CMU / PAINT	CONC / PAINT	CMU / PAINT		
018	KITCHEN	VCT-3	RB-3A	CMU / PAINT	CMU / PAINT	CONC / PAINT	CMU / PAINT	ACT-1	
019	TV ROOM								REPLACE EXIST. SECTION OF VCT & RB WITH CPT/RB TO MATCH EXISTING
020	REC ROOM								NO NEW FINISHES
021	ELECTRICAL								NO NEW FINISHES
022	STUDY ROOM								NO NEW FINISHES
023	STORAGE								NO NEW FINISHES
024	MECHANICAL								NO NEW FINISHES
025	CRAWL SPACE								NO NEW FINISHES
026	ELECTRIC								NO NEW FINISHES
B0	NORTHEAST STAIR	RT	RRB	CMU / PAINT	CONCRETE / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	RESILIENT TREADS / RISERS, PAINT EXIST. GWB SOFFIT

**FINISH SCHEDULE NOTES:**

- CLOSEST WITHIN LARGER SPACES ARE TO RECEIVE SAME FINISHES AS SPACE IN WHICH THEY ARE LOCATED, UNLESS NOTED OTHERWISE IN SCHEDULE OR ON DRAWINGS.
- VCT IN UNIT CLOSETS TO MATCH THAT IN BEDROOMS.
- BLANK CELLS INDICATE NO NEW FINISHES OTHER THAN THOSE REQUIRED FOR MINOR PATCHING ASSOCIATED WITH NEW MEP WORK.
- VERIFY CARPET ORIENTATION WITH ARCHITECT PRIOR TO INSTALLATION.
- WIRE BRUSH ALL DOOR FRAMES IN WET AREA (RESTROOMS, SHOWER ROOMS, ETC.) TO REMOVE RUST PRIOR TO PRIMING AND PAINTING.
- ALL EXISTING CERAMIC TILE/GROUT TO BE CLEANED AND SEALED.
- NEW AND EXISTING GWB CEILINGS ARE TO BE REPAINTED EXCEPT IN AREAS NOTED "NO NEW FINISHES".
- PROVIDE NEW VCT FLOORING AND RESILIENT BASE IN ELEVATOR CABS. VERIFY COLOR WITH ARCHITECT.
- PROVIDE NEW PLASTIC LAMINATE WALL AND CEILING PANELS IN ELEVATOR CABS. SEE SHEET A602. VERIFY FINISHES WITH ARCHITECT.

ROOM FINISH SCHEDULE - LEVEL 1									
Number	Name	Floor Finish	Base Finish	Wall Finish East	Wall Finish North	Wall Finish South	Wall Finish West	Ceiling Finish	Comments
101	RA UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
101A	BATHROOM	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
102	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
102A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
102B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
102C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
102D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
102E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
103	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
103A	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
103B	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
103C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
103D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
103E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
103F	BEDROOM 4	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
104	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
104A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
104B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
104C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
104D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
105	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
105A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
105B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
105C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
105D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
106	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
106A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
106B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
106C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
106D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
107	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
107A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
107B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
107C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
107D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
108	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
108A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
108B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
108C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
108D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
108E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
110	CONFERENCE	CPT-3	RB-3	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1 / EXISTING GWB	CARPET CLOSET TO MATCH CONF. RM.
111	RA UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
111A	BATHROOM	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
112	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
112A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
112B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
112C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
112D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
112E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
113	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
113A	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
113B	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
113C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
113D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
113E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
113F	BEDROOM 4	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
114	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
114A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
114B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
114C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
114D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
115	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
115A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
115B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
115C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
115D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
116	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
116A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
116B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
116C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
116D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
117	APARTMENT	CPT-2	RB-2	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	VCT IN CLOSET TO MATCH KITCHEN
117A	BATHROOM 1	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
117B	BATHROOM 2	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
117C	BEDROOM 1	CPT-2	RB-2	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	CARPET CLOSET TO MATCH BEDROOM
117D	BEDROOM 2	CPT-2	RB-2	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
117E	KITCHEN	VCT-2	RB-2A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
117F	HALL	CPT-2	RB-2	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	VCT IN CLOSET TO MATCH KITCHEN
121A	CORRIDOR								NO NEW FINISHES
121B	CORRIDOR								NO NEW FINISHES
122	LOBBY								NO NEW FINISHES
123	JANITOR								NO NEW FINISHES
124	LOUNGE								NO NEW FINISHES
124A	KITCHEN								NO NEW FINISHES
125	TRASH								NO NEW FINISHES
126	ELECT.								NO NEW FINISHES
127	ELECT.								NO NEW FINISHES
128	TRASH								NO NEW FINISHES
129	LOUNGE								NO NEW FINISHES
129A	KITCHEN								NO NEW FINISHES
130	LOUNGE	CPT (EXISTING)	WOOD (EXISTING)		FWC / EXIST. WOOD		FWC / EXIST. WOOD	ACT / GWB (EXISTING)	EXISTING WOOD BASE, PANELING TO REMAIN. NEW FWC
131	WOMEN'S VESTIBULE	TILE (EXISTING)	TILE (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	ACT-1	
132	WOMEN	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	ACT-1	
133	MEN'S VESTIBULE	TILE (EXISTING)	TILE (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	ACT-1	
134	MEN	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	CT (EXISTING)	ACT-1	
135	OFFICE	CPT-3	RB-3	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
135A	CLOSET	CPT-3	RB-3	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
136	OFFICE	CPT-3	RB-3	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
137	MONITOR	CPT-3	RB-3	BRICK (EXISTING)	BRICK (EXISTING)	BRICK (EXISTING)	BRICK (EXISTING)	ACT-1	PAINT METAL FRAMES
138	VESTIBULE								NO NEW FINISHES
139	VESTIBULE								NO NEW FINISHES
A1	NORTHWEST STAIR	RT	RRB	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT		RUBBER TREADS/RISERS, PAINT EXIST. GWB SOFFIT
B1	NORTHEAST STAIR	RT	RRB	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT		RUBBER TREADS/RISERS, PAINT EXIST. GWB SOFFIT
C1	SOUTHEAST STAIR	RT	RRB	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT		RUBBER TREADS/RISERS, PAINT EXIST. GWB SOFFIT
D1	SOUTHWEST STAIR	RT	RRB	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT		RUBBER TREADS/RISERS, PAINT EXIST. GWB SOFFIT

**FINISHES ABBREVIATIONS:**

- ACT ACOUSTICAL CEILING TILE
- CPT CARPET
- FWC IMPACT-RESISTANT, FLEXIBLE WALL COVERING: WOLF GORDON RAMPART "SPARTA" SERIES. COLOR TO BE CHOSEN BY ARCHITECT FROM MFR'S. FULL RANGE.
- GWB GYPSUM WALL BOARD
- RB RESILIENT BASE
- RRB RESILIENT RUBBER BASE TO MATCH RUBBER TILE
- RT RUBBER TILE
- VCT VINYL COMPOSITION TILE

**Xavier University  
Buenger Hall**



# Xavier University Buenger Hall Renovation Phase 2

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
v. (513) 665-9555  
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**glaserworks**  
architecture & urban design



M.H. MALTZSKY, LICENSE #10104  
EXPIRATION DATE 12/31/2018

## PLUMBING, MECHANICAL & ELECTRICAL ENGINEERS:



Fishbeck, Thompson, Carr &  
Huber, Inc.  
11353 Reed Hartman Hwy.,  
Suite 500  
Cincinnati, OH 45241  
513-469-2370

ROOM FINISH SCHEDULE - LEVEL 4									
Number	Name	Floor Finish	Base Finish	Wall Finish East	Wall Finish North	Wall Finish South	Wall Finish West	Ceiling Finish	Comments
401	RA UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
401A	BATHROOM	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
402	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
402A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
402B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
402C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
402D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
403	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
403A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
403B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
403C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
403D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
404	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	
404A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
404B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
404C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	
404D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	
404E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	
404F	BEDROOM 4	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	
404G	CLOS.	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
405	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
405A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
405B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
405C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	
405D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT / GWB (EXISTING)	
405E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
405F	BEDROOM 4	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
405G	CLOS.	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
406	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
406A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
406B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
406C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
406D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
406E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
406F	BEDROOM 4	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
406G	CLOS.	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
407	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
407A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
407B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
407C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
407D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	
408	UNIT	CPT-1	RB-1	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
408A	RR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
408B	SHWR	CT (EXISTING)	CT (EXISTING)	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	GWB (EXISTING)	
408C	BEDROOM 1	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
408D	BEDROOM 2	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
408E	BEDROOM 3	VCT-1	RB-1A	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT (EXISTING)	
421	CORRIDOR								NO NEW FINISHES
422	ELEVATOR LOBBY								NO NEW FINISHES
423	JANITOR								NO NEW FINISHES
424	LOUNGE								NO NEW FINISHES
425	TRASH								NO NEW FINISHES
B4	NORTHEAST STAIR	RT	RRB	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	RESILIENT TREADS / RISERS
C4	SOUTHEAST STAIR	RT	RRB	CMU / PAINT	CMU / PAINT	CMU / PAINT	CMU / PAINT	ACT-1	RESILIENT TREADS / RISERS

### FINISHES ABBREVIATIONS:

ACT ACOUSTICAL CEILING TILE  
 CPT CARPET  
 FWC IMPACT-RESISTANT, FLEXIBLE WALL COVERING: WOLF GORDON RAMPART 'SPARTA' SERIES. COLOR TO BE CHOSEN BY ARCHITECT FROM MFR'S. FULL RANGE.  
 GWB GYPSUM WALL BOARD  
 RB RESILIENT BASE  
 RRB RESILIENT RUBBER BASE TO MATCH RUBBER TILE  
 RT RUBBER TILE  
 VCT VINYL COMPOSITION TILE

### FINISH SCHEDULE NOTES:

- CLOSEST WITHIN LARGER SPACES ARE TO RECEIVE SAME FINISHES AS SPACE IN WHICH THEY ARE LOCATED, UNLESS NOTED OTHERWISE IN SCHEDULE OR ON DRAWINGS.
- VCT IN UNIT CLOSETS TO MATCH THAT IN BEDROOMS.
- BLANK CELLS INDICATE NO NEW FINISHES OTHER THAN THOSE REQUIRED FOR MINOR PATCHING ASSOCIATED WITH NEW MEP WORK.
- VERIFY CARPET ORIENTATION WITH ARCHITECT PRIOR TO INSTALLATION.
- WIRE BRUSH ALL DOOR FRAMES IN WET AREA (RESTROOMS, SHOWER ROOMS, ETC.) TO REMOVE RUST PRIOR TO PRIMING AND PAINTING.
- ALL EXISTING CERAMIC TILE/GROUT TO BE CLEANED AND SEALED.
- NEW AND EXISTING GWB CEILINGS ARE TO BE REPAINTED EXCEPT IN AREAS NOTED 'NO NEW FINISHES'.
- PROVIDE NEW VCT FLOORING AND RESILIENT BASE IN ELEVATOR CABS. VERIFY COLOR WITH ARCHITECT.
- PROVIDE NEW PLASTIC LAMINATE WALL AND CEILING PANELS IN ELEVATOR CABS. SEE SHEET A602. VERIFY FINISHES WITH ARCHITECT.

CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

REVISION

SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

DWG TITLE

**FINISH  
SCHEDULE  
LEVEL 4**

SHEET NO.

**A553**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
v. (513) 665-9555  
f. (513) 665-9857

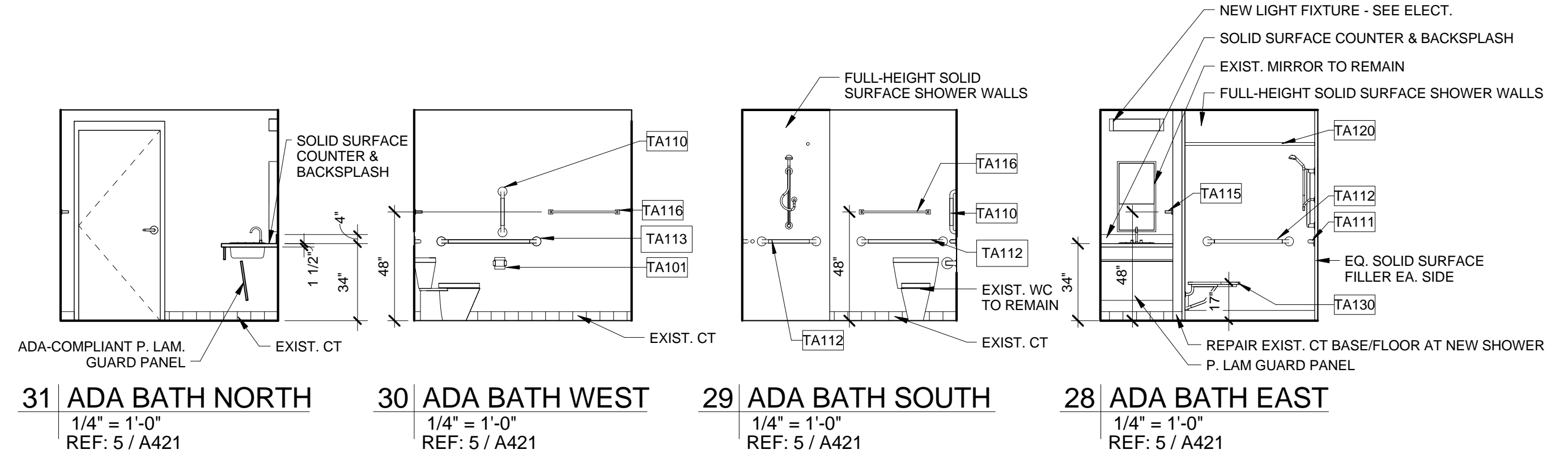
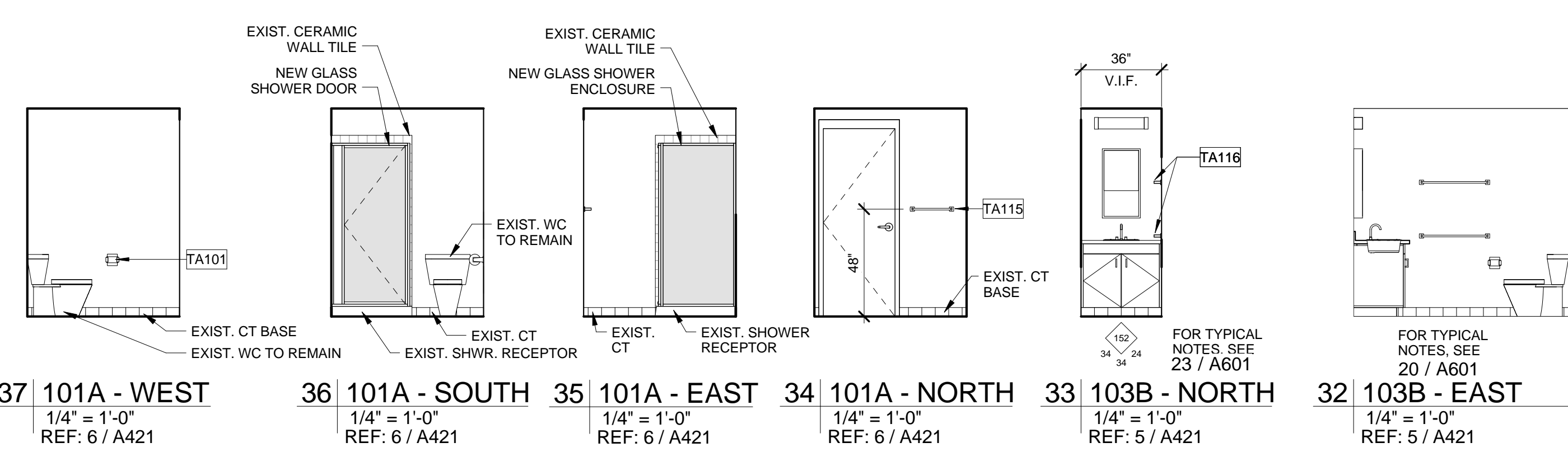
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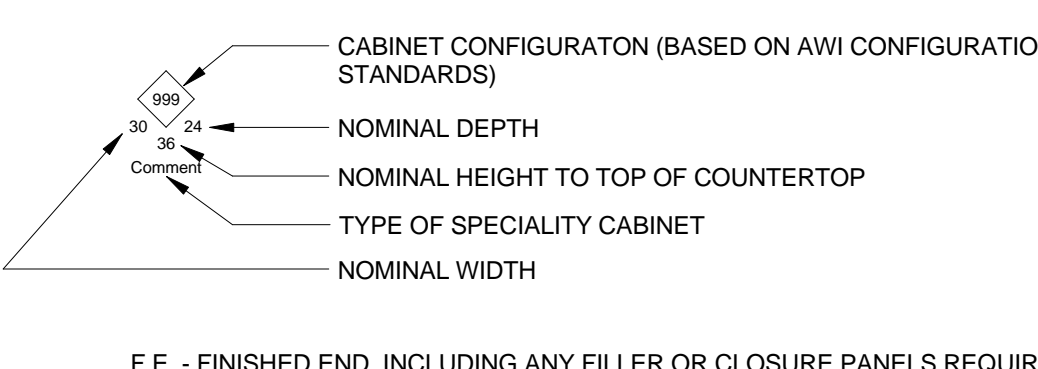
**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**



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11353 Reed Hartman Hwy.,  
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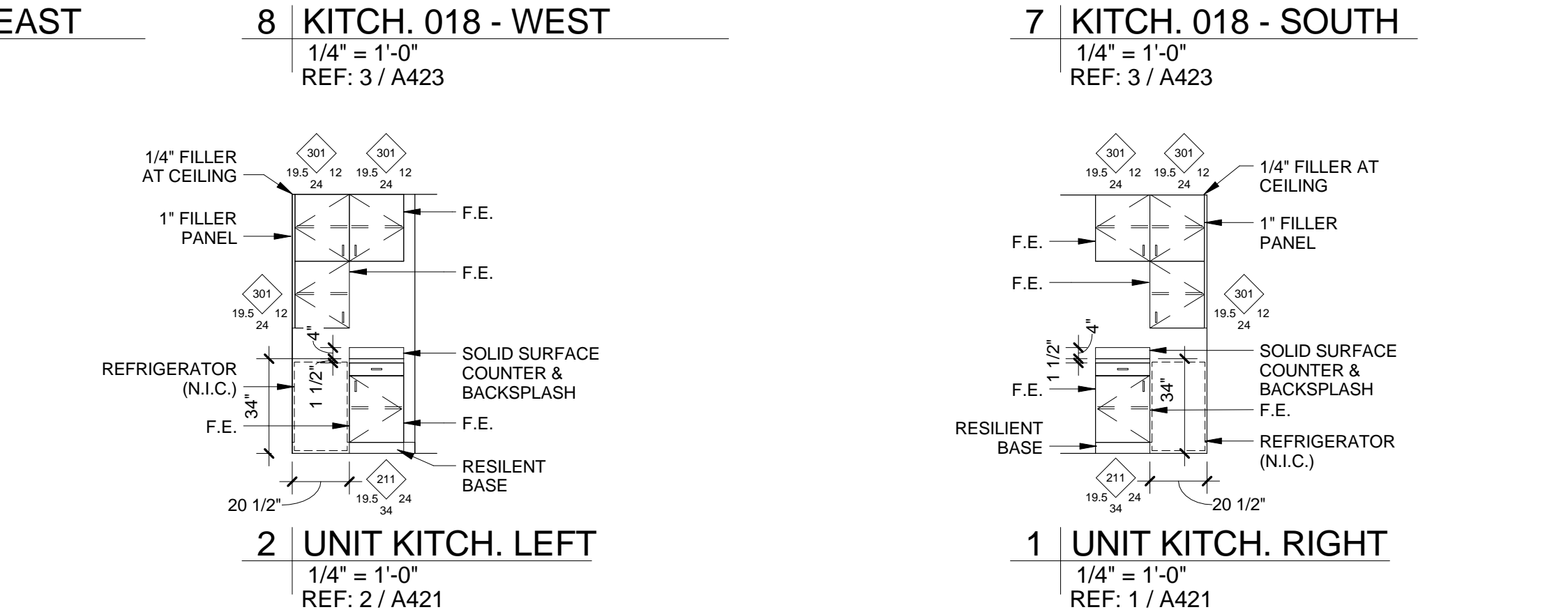
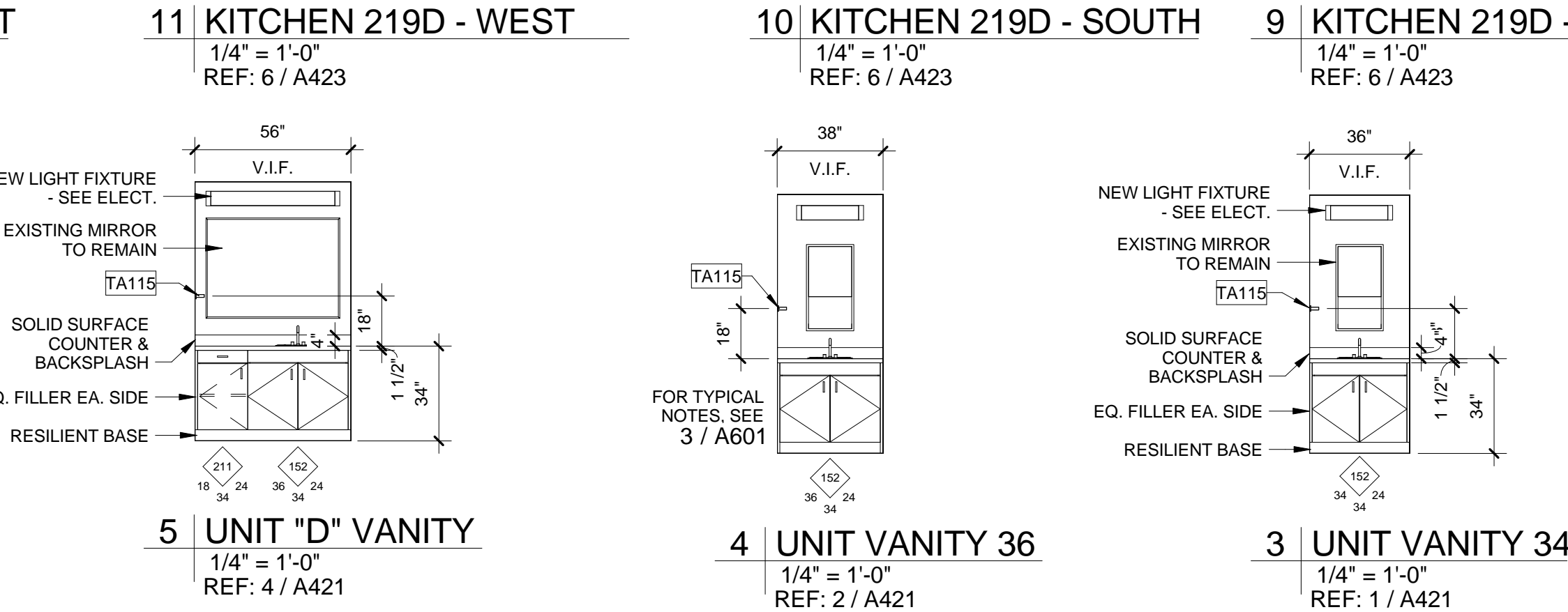
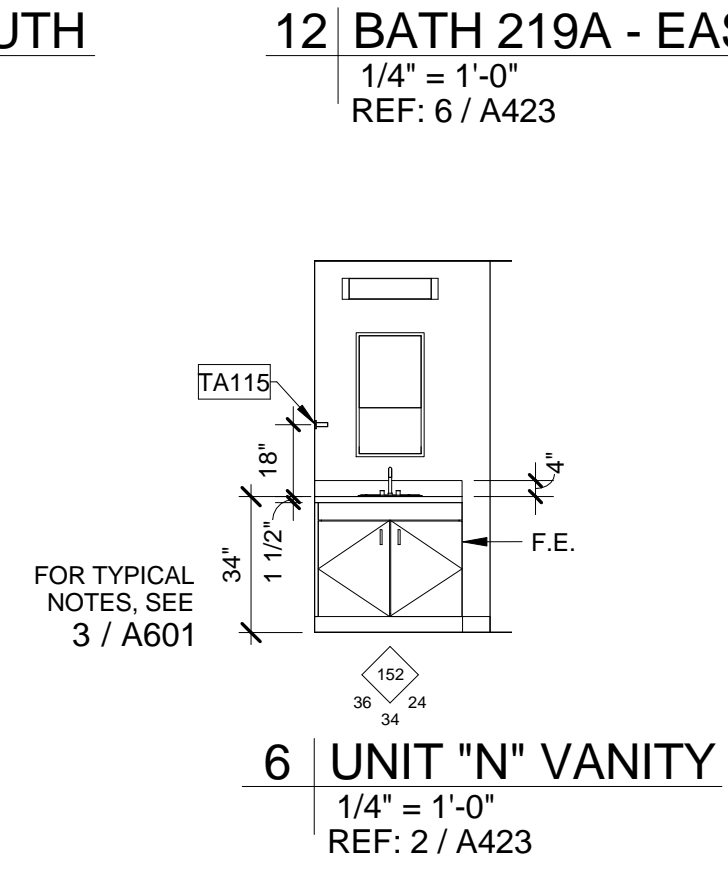
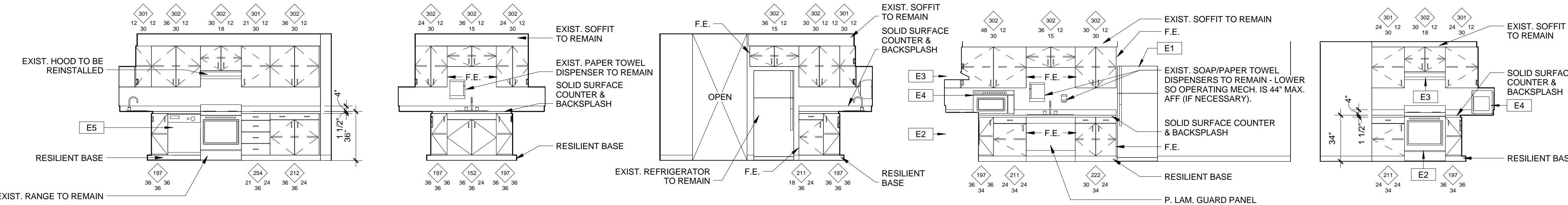
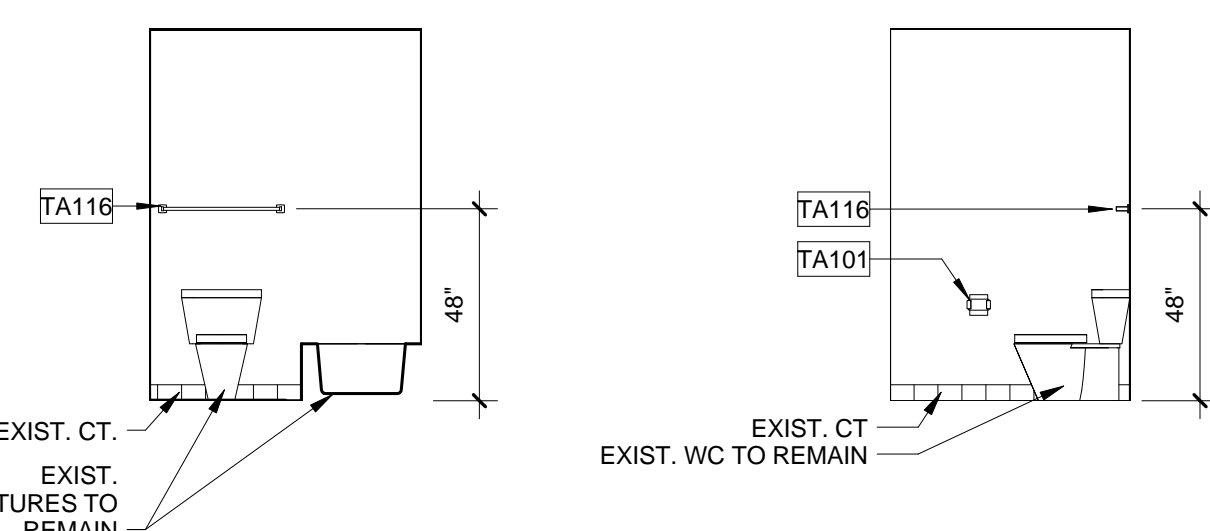
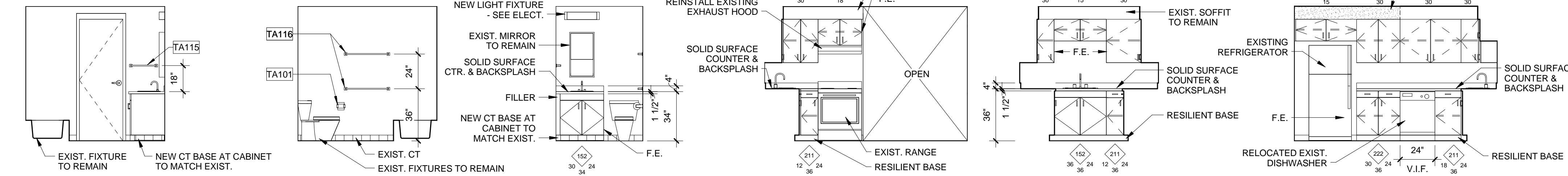


**CASEWORK LEGEND & ABBREVIATIONS**



**GENERAL NOTES - INTERIOR ELEVATIONS**

- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- WHERE EXPOSED, PATCH SURFACES WHERE EXISTING CASEWORK, EQUIPMENT, ACCESSORIES, ETC. ARE REMOVED AND PREPARE FOR NEW FINISHES.
- FOR MOUNTING LOCATIONS OF TYPICAL ACCESSORIES, SEE SHEET A/432.
- CLEAN AND RESEAL EXISTING CERAMIC FLOOR, BASE AND WALL TILES AND GROUT.
- FIELD-VERIFY DIMENSIONS AND EXISTING CONDITIONS.
- REPAIR/REPLACE EXISTING CERAMIC FLOOR/WALL TILE WHERE NEW WORK LEAVES ABANDONED MOUNTING HOLES OR OTHER DAMAGE EXPOSED.
- UNLESS NOTED OTHERWISE, BASE AND WALL CABINETS TO BE PLASTIC LAMINATE.
- UNLESS NOTED OTHERWISE, COUNTERTOPS AND BACKSPLASHES TO BE SOLID SURFACE.



CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

REVISION

ISSUE

NOTES

DWG TITLE

SHEET NO.

SHEET REVISION		
REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**INTERIOR  
ELEVATIONS**

**A601**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
Cincinnati OH  
45202-2231  
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**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**

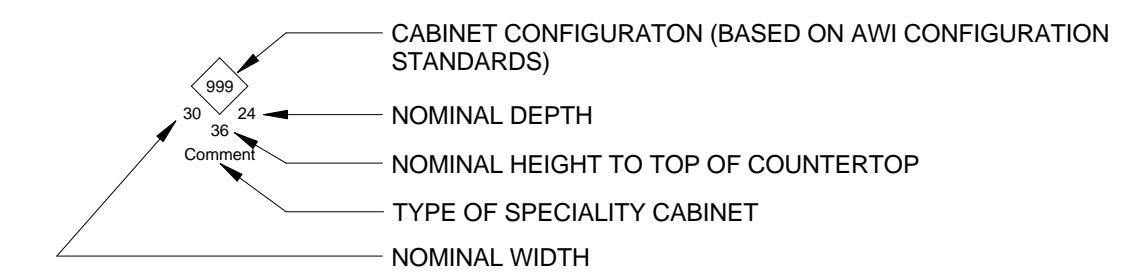


Fishbeck, Thompson, Carr &  
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11353 Reed Hartman Hwy.,  
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Cincinnati, OH 45241  
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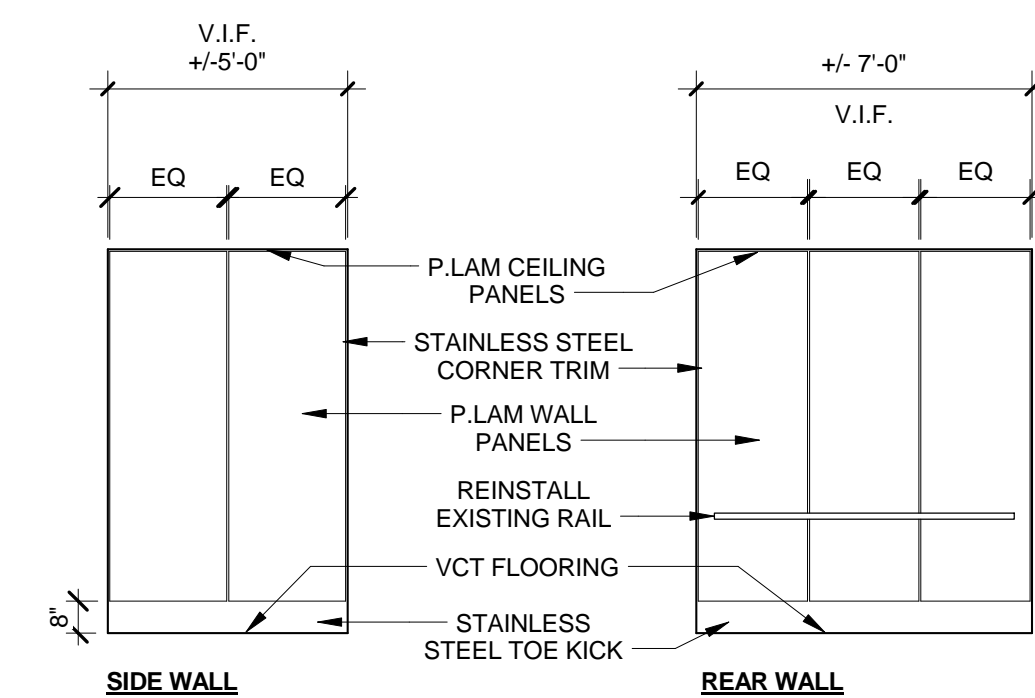
**GENERAL NOTES - INTERIOR ELEVATIONS**

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- WHERE EXPOSED, PATCH SURFACES WHERE EXISTING CASEWORK, EQUIPMENT, ACCESSORIES, ETC. ARE REMOVED AND PREPARE FOR NEW FINISHES.
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- UNLESS NOTED OTHERWISE, COUNTERTOPS AND BACKSPLASHES TO BE SOLID SURFACE.

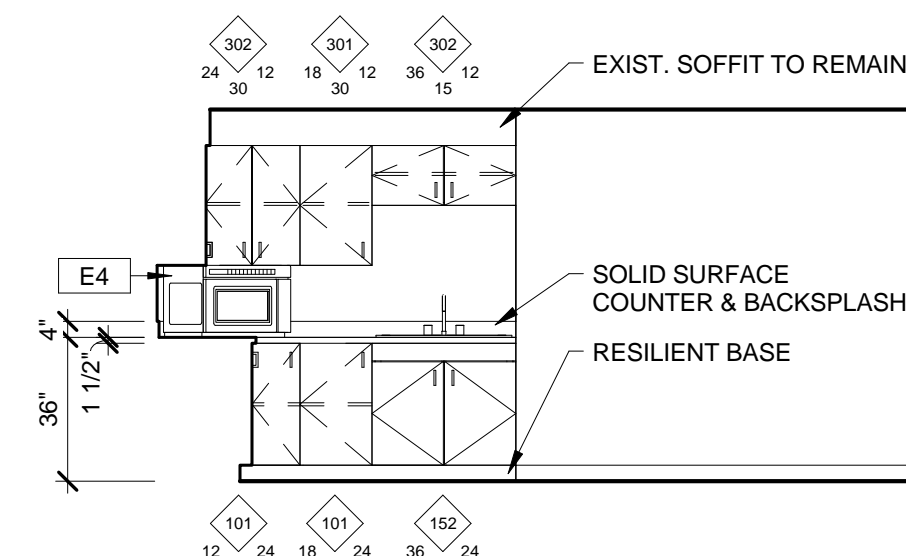
**CASEWORK LEGEND & ABBREVIATIONS**



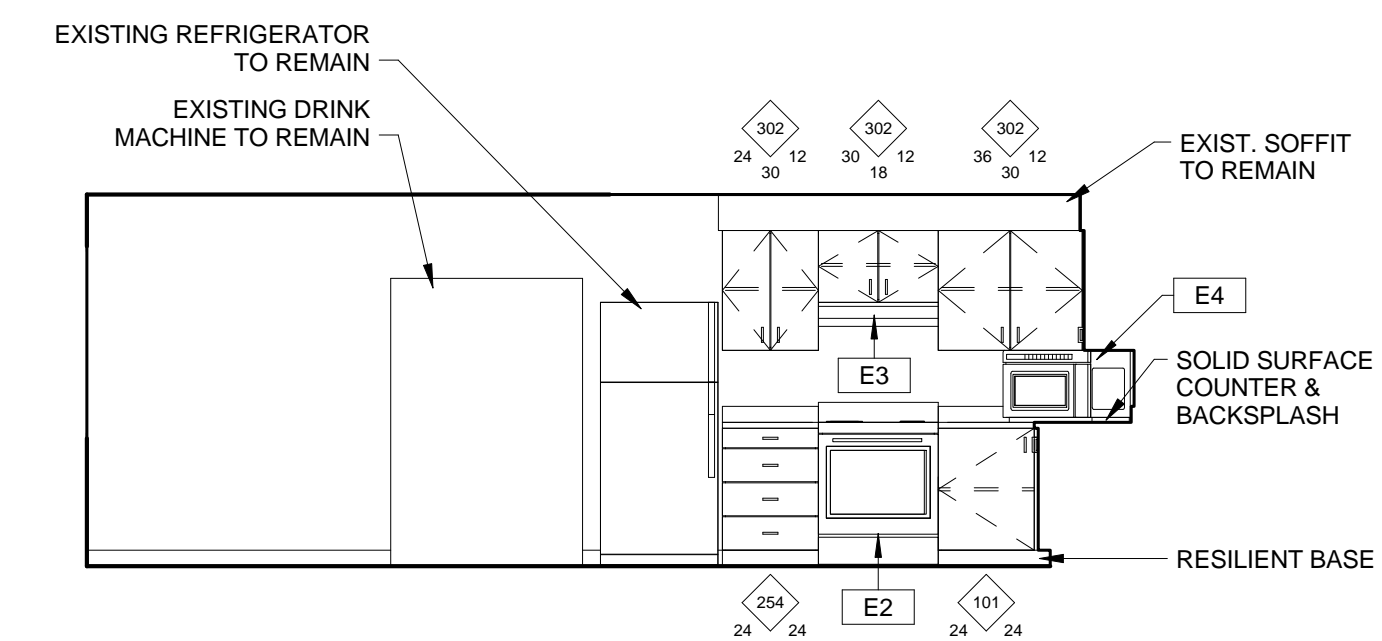
F.E. - FINISHED END, INCLUDING ANY FILLER OR CLOSURE PANELS REQUIRED



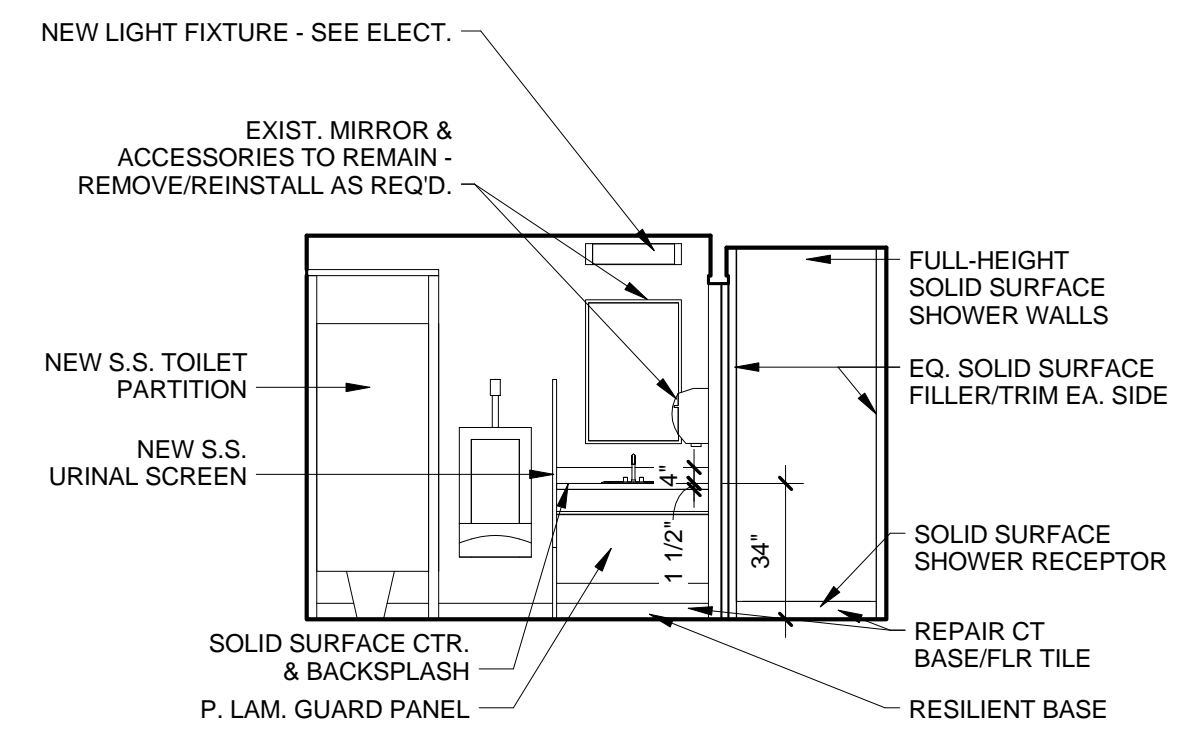
**14 ELEVATOR CABS**  
1/4" = 1'-0"



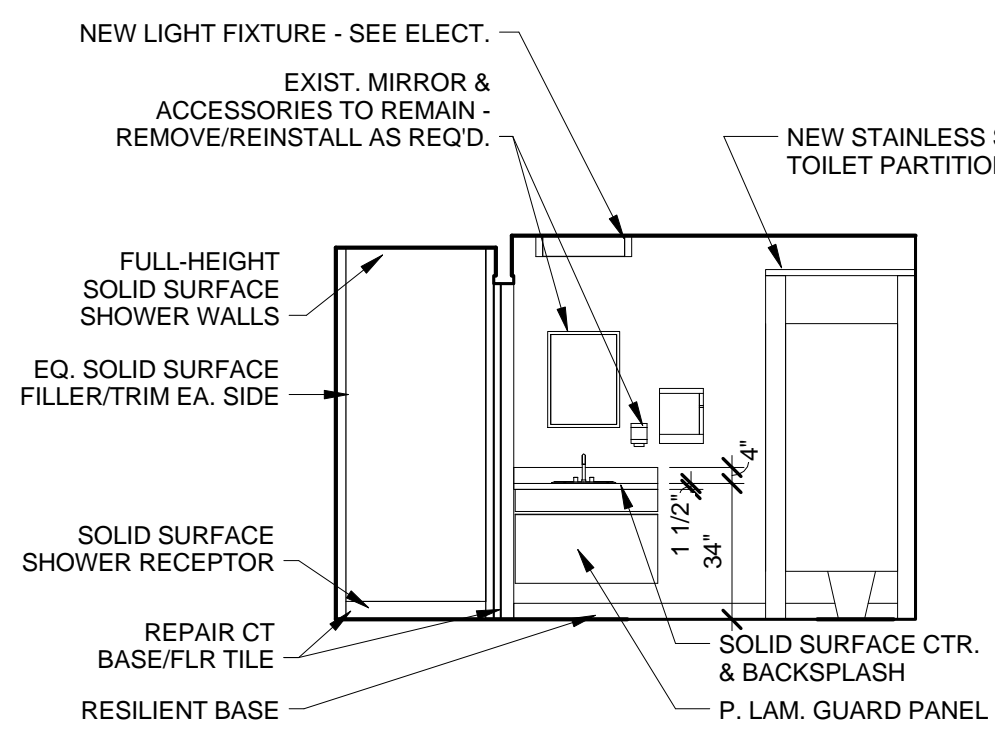
**13 LOUNGE 424 - WEST**  
1/4" = 1'-0"  
REF: 10 / A423



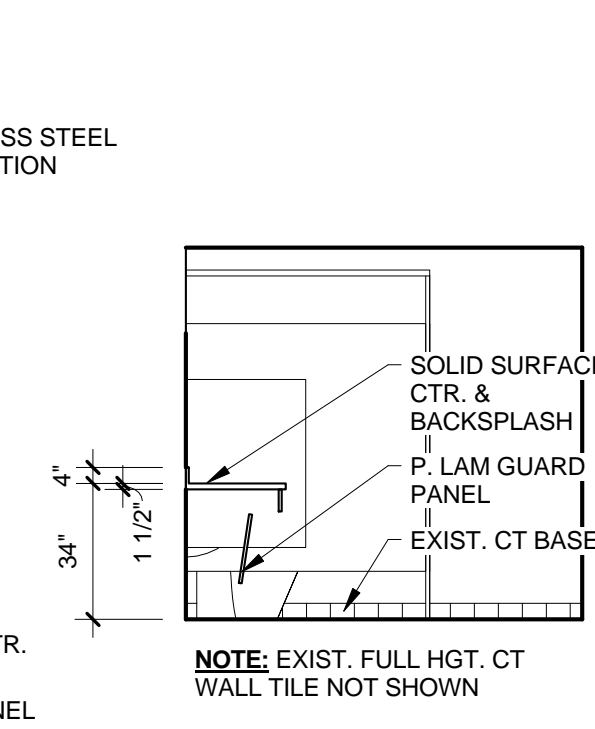
**12 LOUNGE 424 - SOUTH**  
1/4" = 1'-0"  
REF: 10 / A423



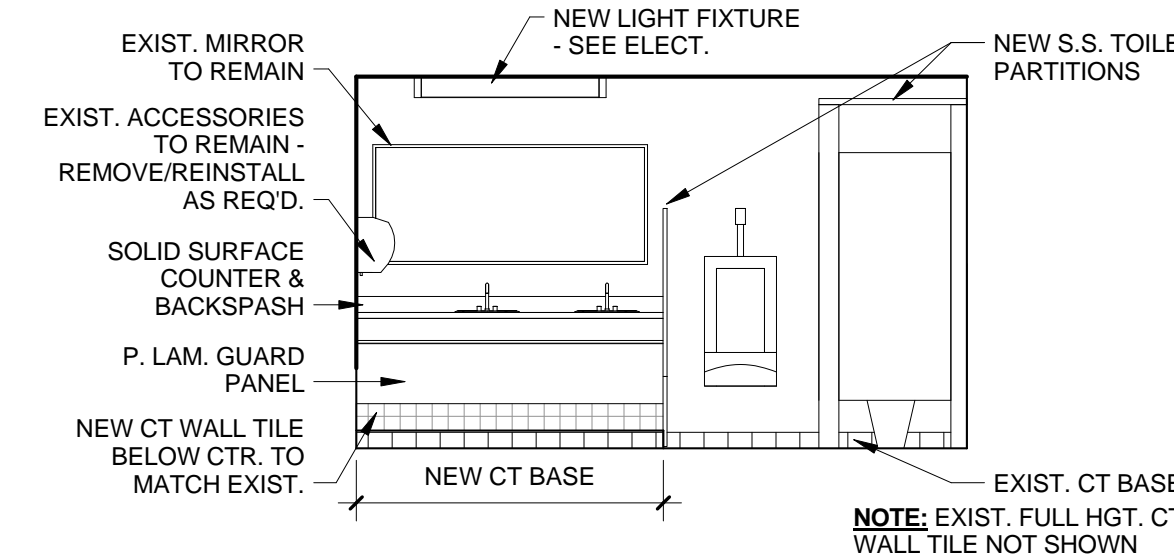
**11 CUSTODIAN 011 WEST**  
1/4" = 1'-0"  
REF: 7 / A423



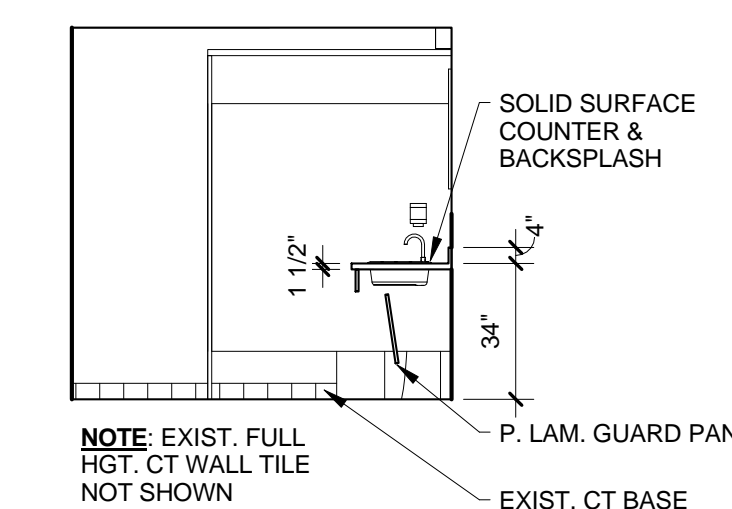
**10 CUSTODIAN 010 EAST**  
1/4" = 1'-0"  
REF: 7 / A423



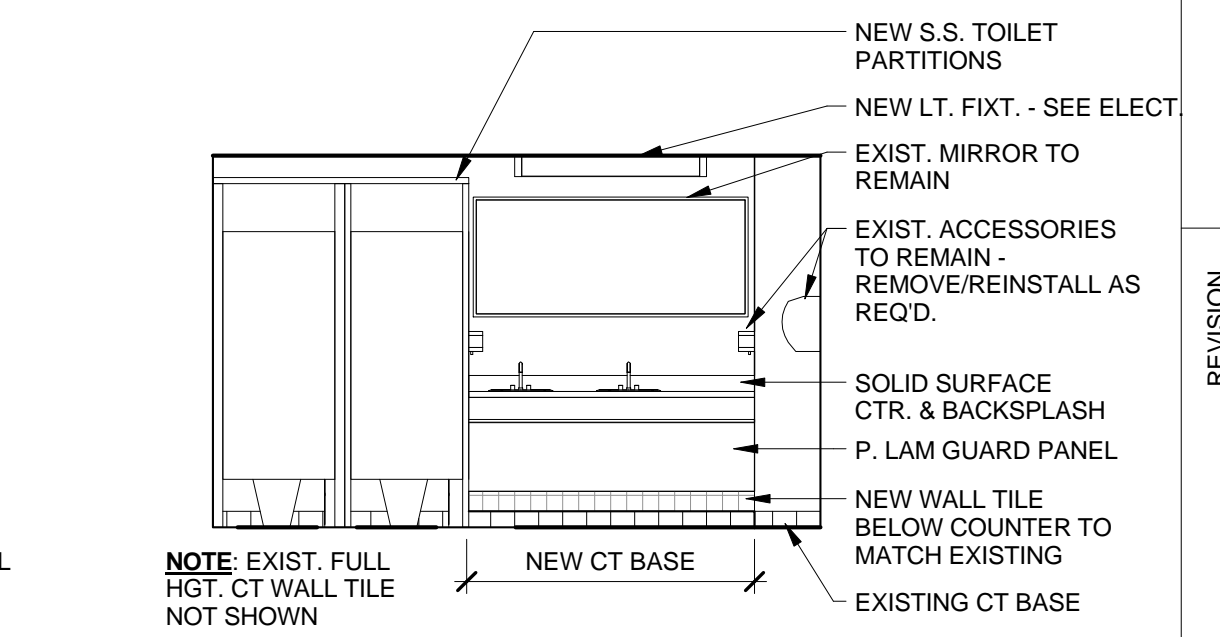
**9 MEN 012 - WEST**  
1/4" = 1'-0"  
REF: 7 / A423



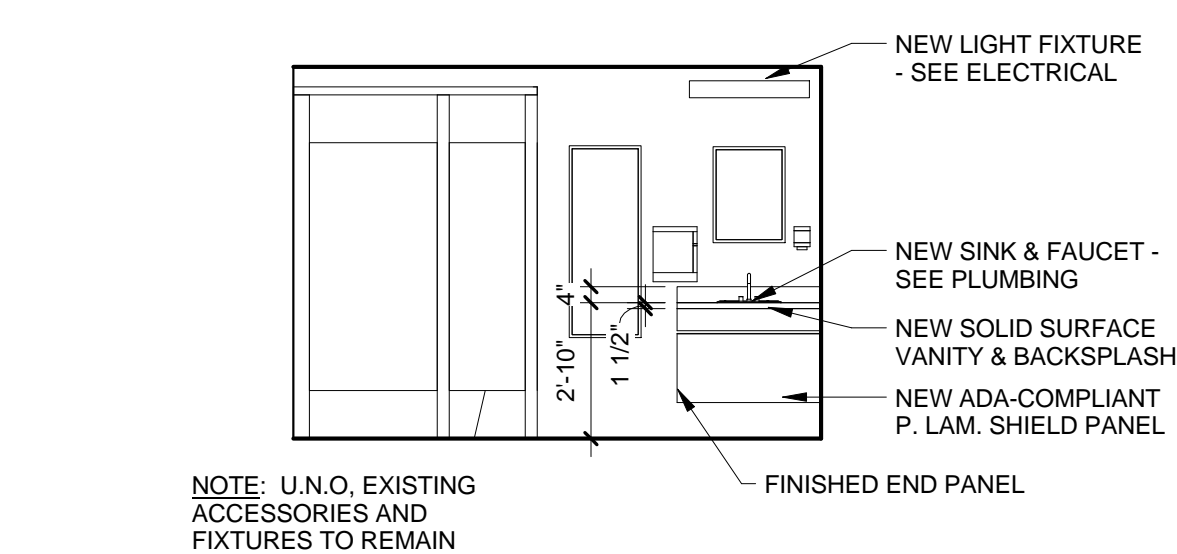
**8 MEN 012 - SOUTH**  
1/4" = 1'-0"  
REF: 7 / A423



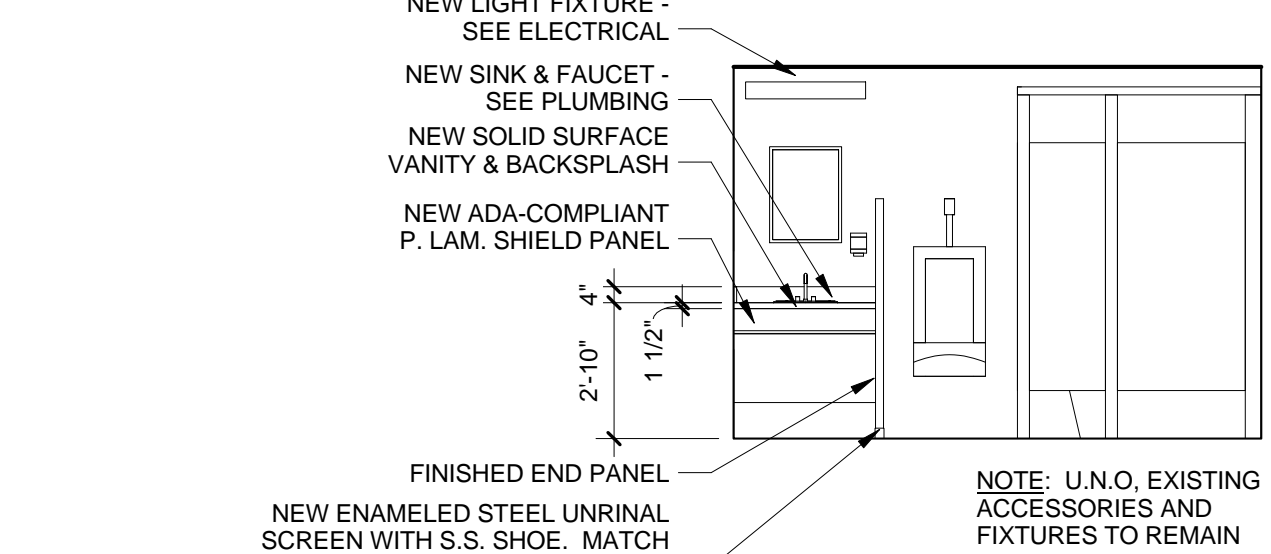
**7 WOMEN 009 - EAST**  
1/4" = 1'-0"  
REF: 7 / A423



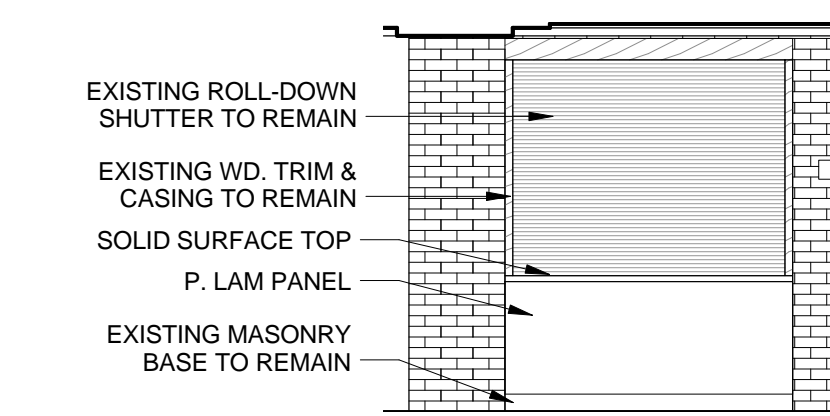
**6 WOMEN 009 - SOUTH**  
1/4" = 1'-0"  
REF: 7 / A423



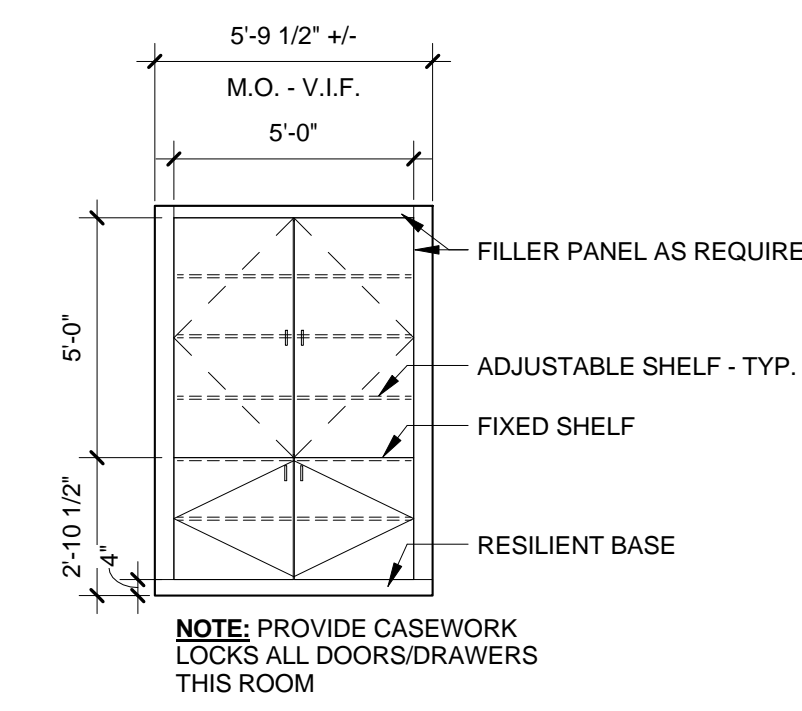
**5 RESTROOM 132 - WEST**  
1/4" = 1'-0"  
REF: 8 / A423



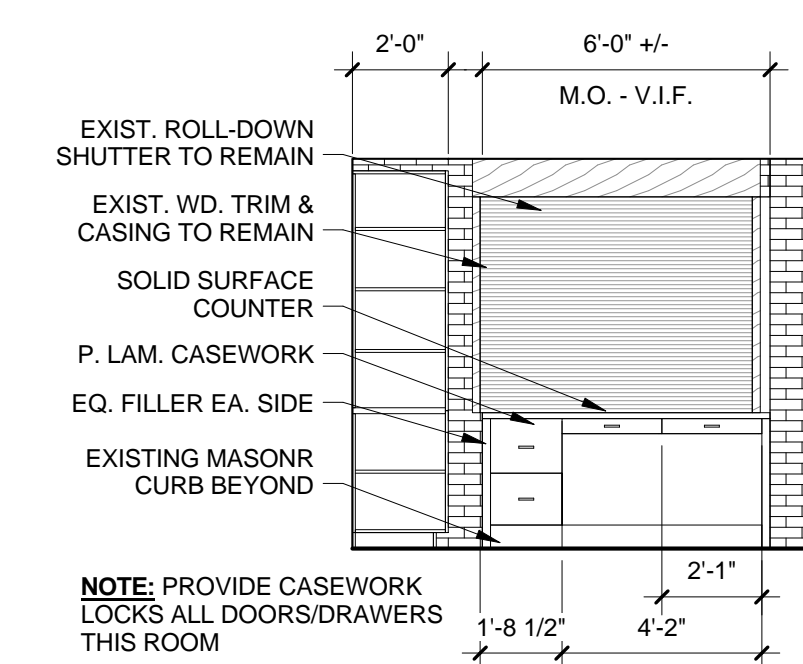
**4 RESTROOM 134 - EAST**  
1/4" = 1'-0"  
REF: 8 / A423



**3 LOBBY 122 - PARTIAL SOUTH**  
1/4" = 1'-0"  
REF: 9 / A423



**2 OFFICE 137 WEST**  
1/4" = 1'-0"  
REF: 9 / A423



**1 OFFICE 137 - NORTH**  
1/4" = 1'-0"  
REF: 9 / A423

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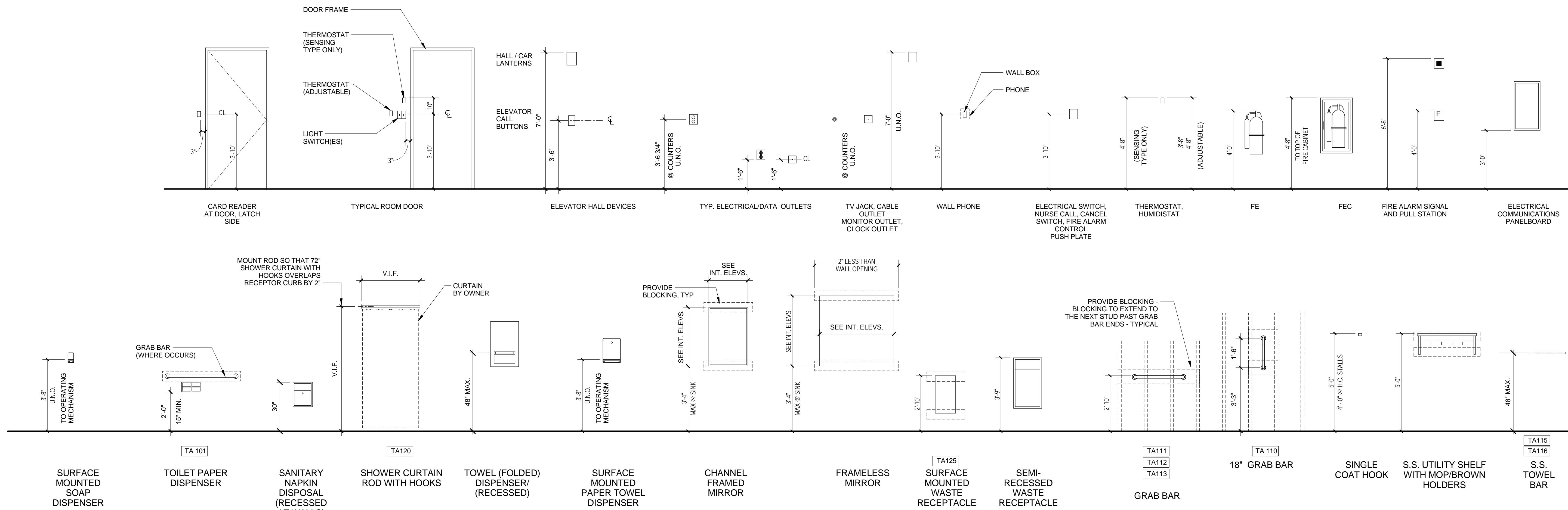
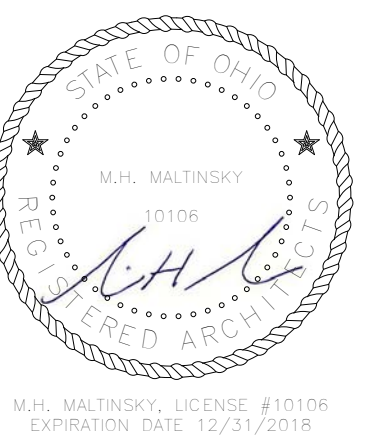
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03/21/2018	CONSTRUCTION DOCUMENTS

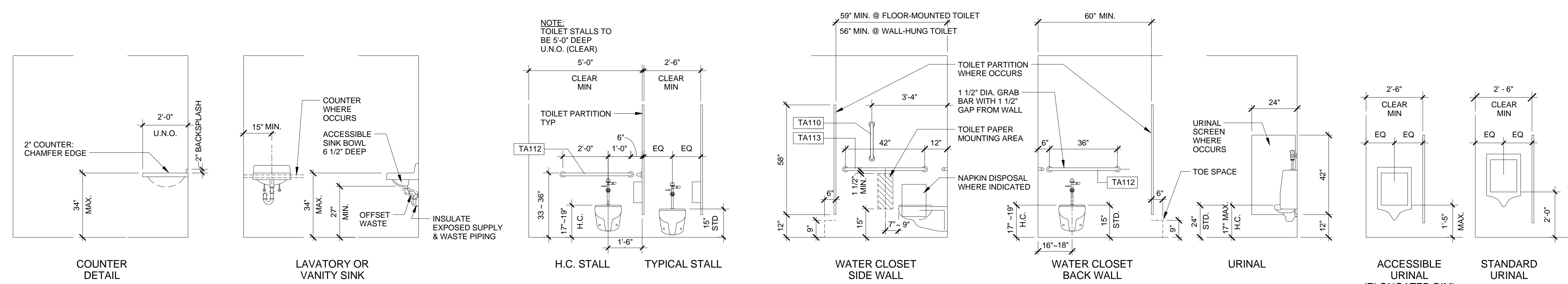
**INTERIOR  
ELEVATIONS**

**A602**



**TYPICAL ACCESSIBLE DEVICES AND ACCESSORIES MOUNTING HEIGHTS**

- HIGHEST OPERABLE PART OF CONTROLS, DISPENSER, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL NOT EXCEED HEIGHTS ABOVE.
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS MAX. (DIMENSIONS INDICATED "TOP" IS TO TOP OF DEVICE, TYP.)
- IF ACCESSORY IS OWNER PROVIDED, VERIFY THAT DIMENSION OFF OF FACE OF WALL MEETS ADA (4" MAX. OFF OF WALL) IF NOT ADA, VERIFY WITH ARCHITECT FOR LOCATION OF UNIT.
- NOT ALL RESTROOMS AND SHOWER ROOMS IN THIS PROJECT ARE ACCESSIBLE. SEE DRAWINGS FOR NON-ACCESSIBLE MOUNTING INFORMATION.



**TYPICAL ACCESSIBLE PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS**

- SEE PLUMBING DRAWING FOR FIXTURE INFORMATION
- PROVIDE BLOCKING IN WALL AT TOILET ACCESSORIES
- CENTER MIRRORS WITHIN LENGTH OF COUNTER OR OVER SINK(S) IF COUNTER IS ASYMMETRICAL, U.N.O.
- DIMENSIONS INDICATED ARE TO FACE OF FINISHES U.N.O.
- ALL FIXTURES AND ACCESSORIES SHOWN MAY NOT BE REQUIRED ON THIS PROJECT

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REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**TYPICAL ACCESSORIES MOUNTING HEIGHTS**

**A610**



**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

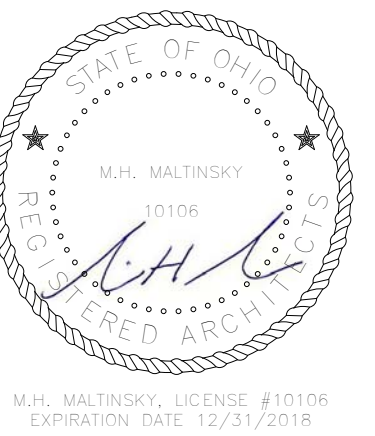
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Project #: 17018



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SHEET REVISION		
REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**SIGNAGE PLAN  
- FIRST FLOOR**

**A701**



**GENERAL NOTES - SIGNAGE**

- WHERE NEW SIGNAGE REPLACES EXISTING, SCOPE OF WORK INCLUDES REMOVAL OF EXISTING SIGNAGE AND PATCHING OF FINISHES NOT COVERED BY INSTALLATION OF NEW SIGNS.
- ALL NEW SIGNAGE TO BE COMPLIANT WITH CURRENT STATE AND LOCAL CODES AND WITH ACCESSIBILITY STANDARD ICC A117.1. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND APPLICABLE CODES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- SIGNAGE SHOULD BE MOUNTED CENTERED WITHIN OR ON MASONRY COURSING TO THE GREATEST EXTENT POSSIBLE WITHIN THE MOUNTING LIMITATIONS OF APPLICABLE CODES.
- MOUNTING HEIGHTS SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE CODES.
- SIGN TYPE R3 TO BE MOUNTED ON OUTSIDE OF NEW BEDROOM DOORS.
- SEE SHEET A710 FOR DETAILS OF SIGN TYPES.

MOUNT SIGN ON GLASS -  
PROVIDE FINISHED BACK

**1 SIGNAGE PLAN - FIRST FLOOR**  
1/8" = 1'-0"





**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

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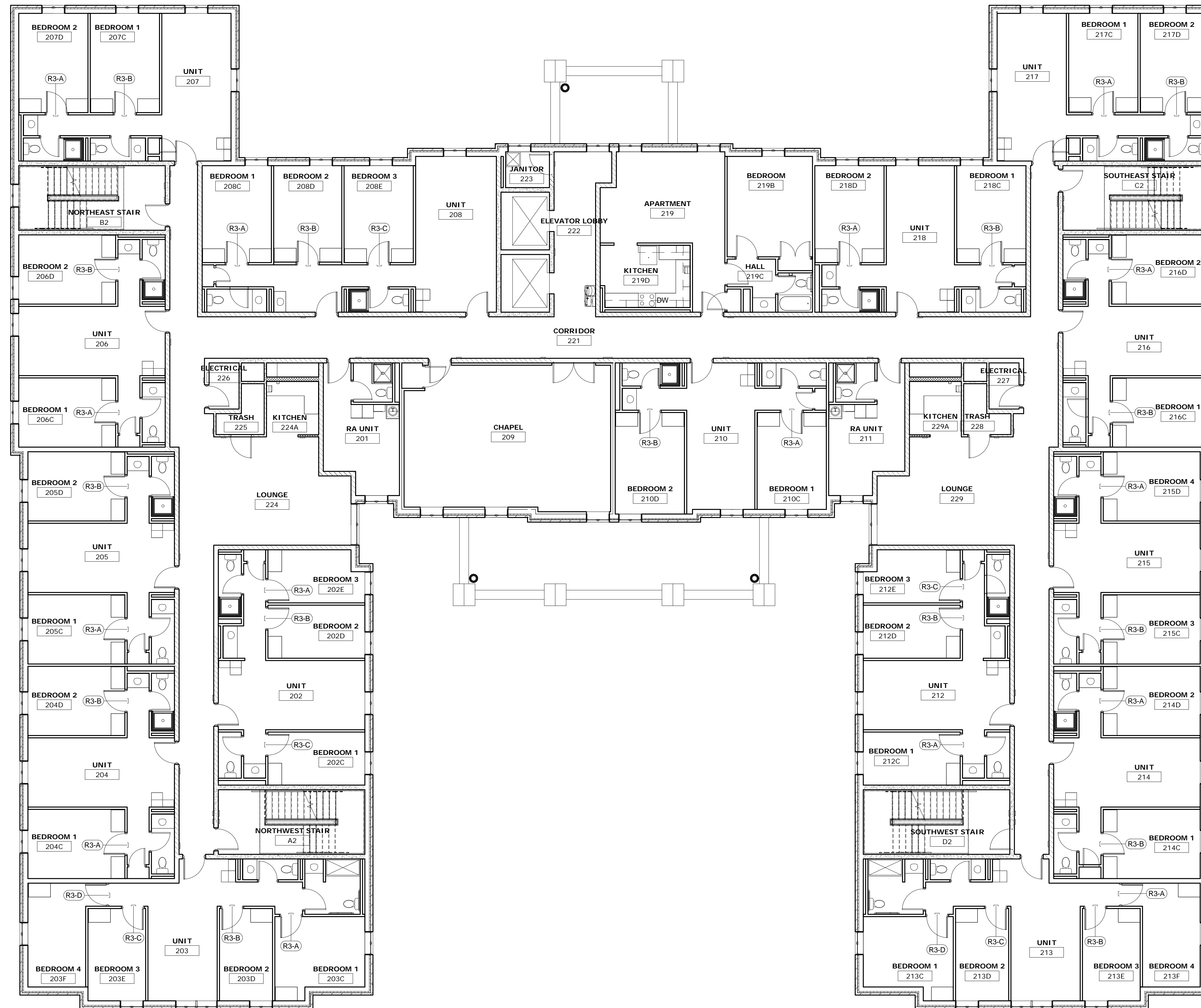
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**SIGNAGE PLAN  
- SECOND  
FLOOR**

**A702**

**GENERAL NOTES - SIGNAGE**

- WHERE NEW SIGNAGE REPLACES EXISTING, SCOPE OF WORK INCLUDES REMOVAL OF EXISTING SIGNAGE AND PATCHING OF FINISHES NOT COVERED BY INSTALLATION OF NEW SIGNS.
- ALL NEW SIGNAGE TO BE COMPLIANT WITH CURRENT STATE AND LOCAL CODES AND WITH ACCESSIBILITY STANDARD ICC A117.1. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND APPLICABLE CODES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
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- MOUNTING HEIGHTS SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE CODES.
- SIGN TYPE R3 TO BE MOUNTED ON OUTSIDE OF NEW BEDROOM DOORS.
- SEE SHEET A710 FOR DETAILS OF SIGN TYPES.



1 | SIGNAGE PLAN - SECOND FLOOR  
1/8" = 1'-0"



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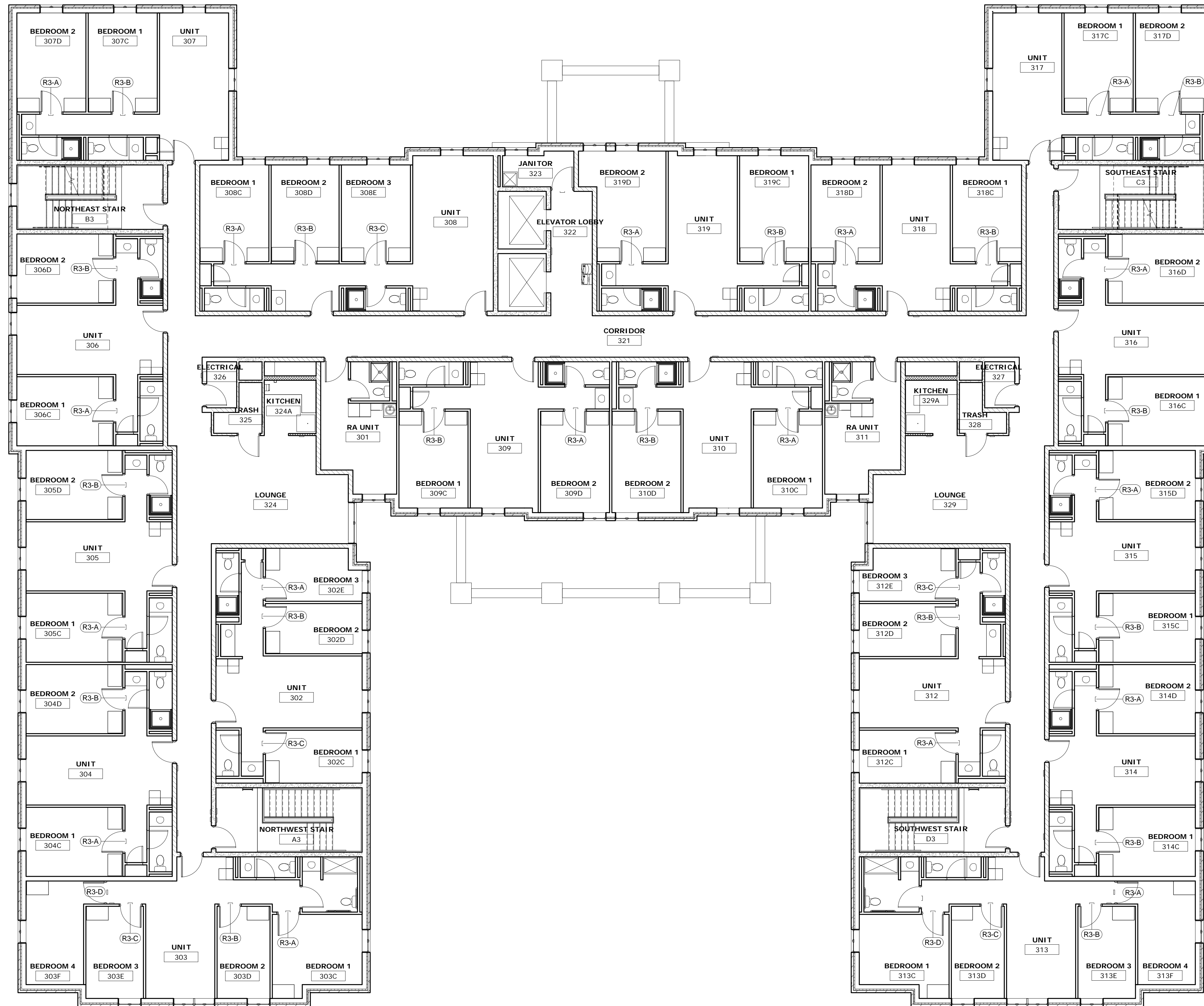
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DWG TITLE

SHEET NO.



**GENERAL NOTES - SIGNAGE**

1. WHERE NEW SIGNAGE REPLACES EXISTING, SCOPE OF WORK INCLUDES REMOVAL OF EXISTING SIGNAGE AND PATCHING OF FINISHES NOT COVERED BY INSTALLATION OF NEW SIGNS.
2. ALL NEW SIGNAGE TO BE COMPLIANT WITH CURRENT STATE AND LOCAL CODES AND WITH ACCESSIBILITY STANDARD ICC A117.1. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND APPLICABLE CODES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
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4. MOUNTING HEIGHTS SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE CODES.
5. SIGN TYPE R3 TO BE MOUNTED ON OUTSIDE OF NEW BEDROOM DOORS.
6. SEE SHEET A710 FOR DETAILS OF SIGN TYPES.

1 | SIGNAGE PLAN - THIRD FLOOR  
1/8" = 1'-0"



**SIGNAGE PLAN  
- THIRD FLOOR**

**A703**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

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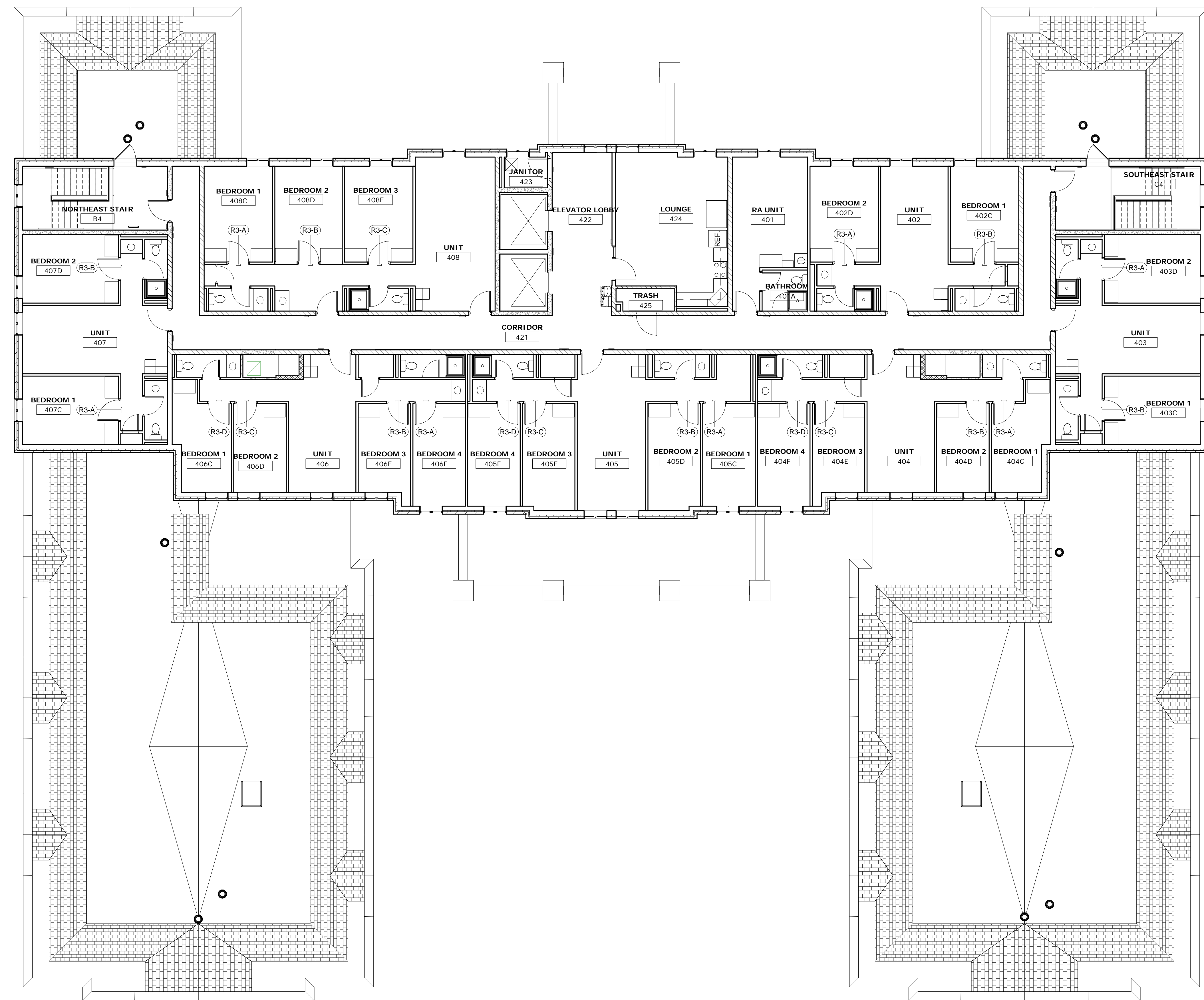
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**GENERAL NOTES - SIGNAGE**

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- SIGN TYPE R3 TO BE MOUNTED ON OUTSIDE OF NEW BEDROOM DOORS.
- SEE SHEET A710 FOR DETAILS OF SIGN TYPES.



**1 | SIGNAGE PLAN - FOURTH FLOOR**  
1/8" = 1'-0"



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**DWG TITLE**  
**SIGNAGE PLAN  
- FOURTH  
FLOOR**

SHEET NO.

**A704**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
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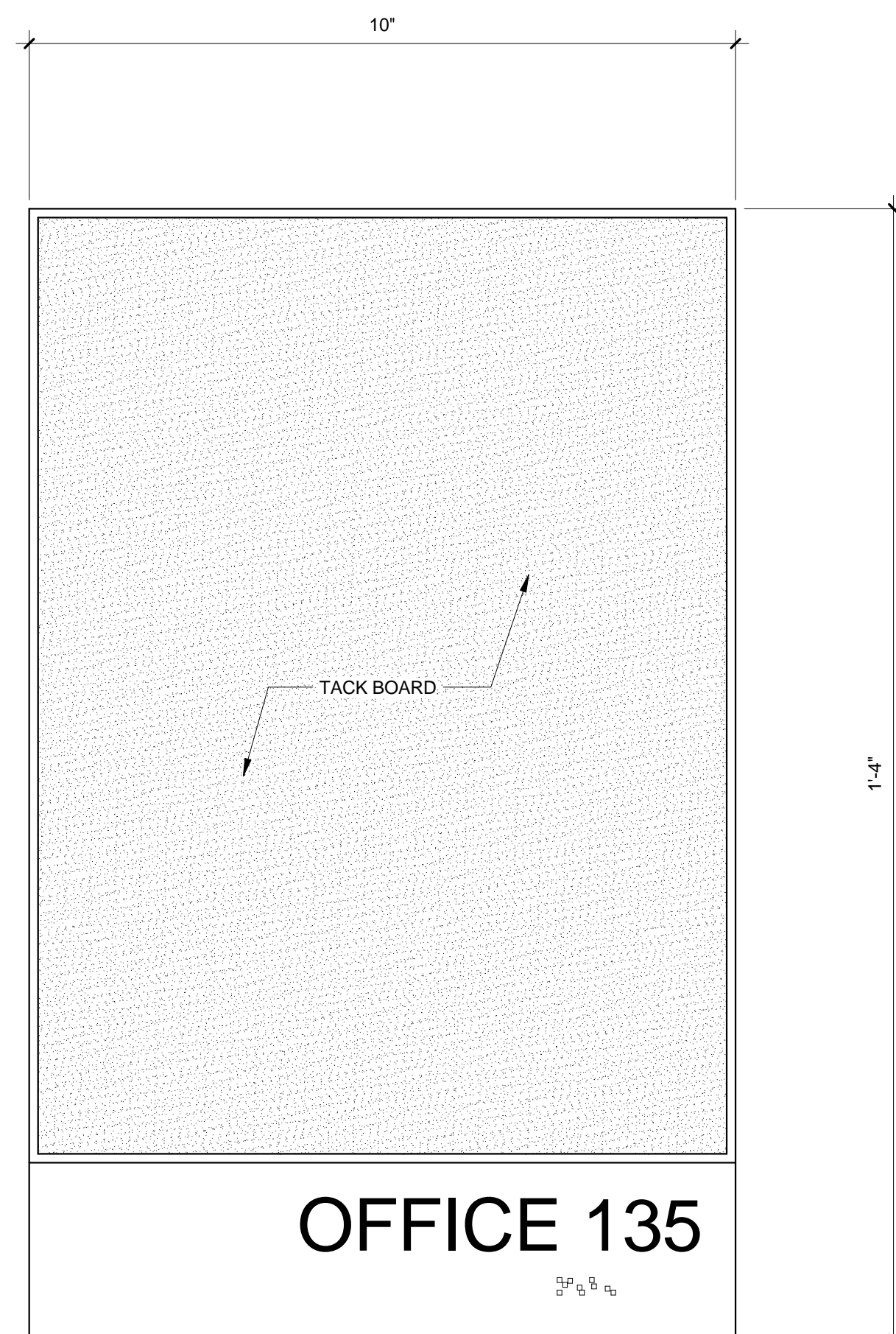
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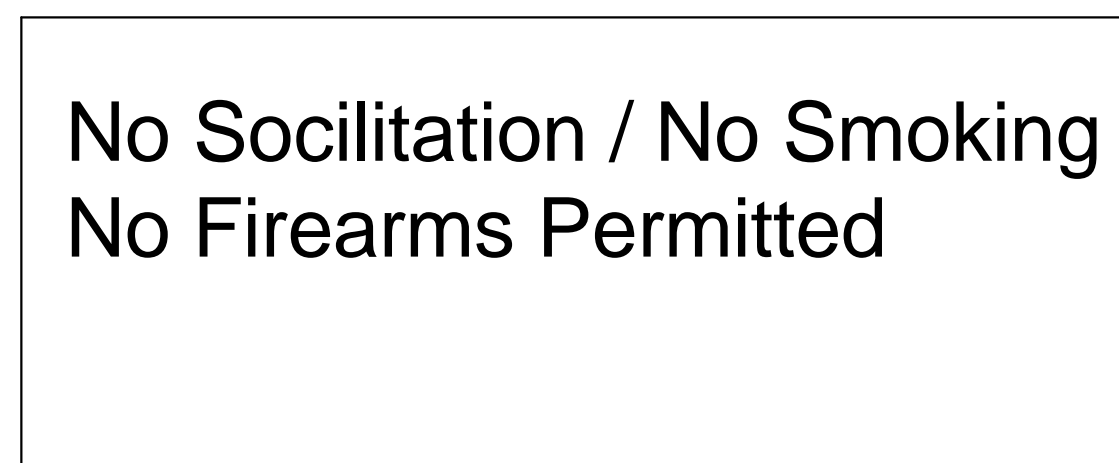
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DWG TITLE **SIGNAGE**

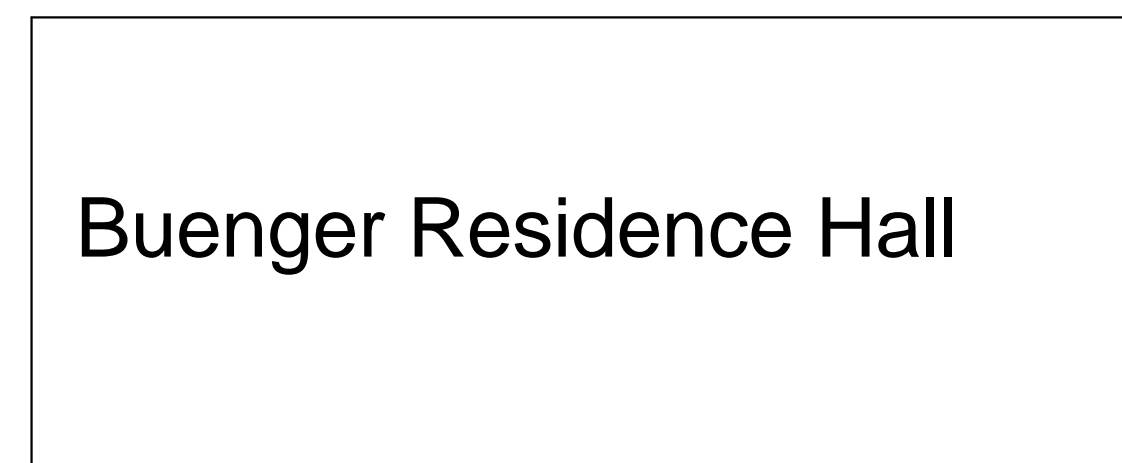
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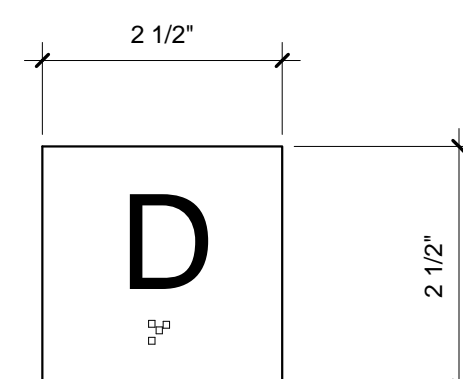
**C1 COMBINATION ROOM SIGN / TACK BOARD  
HALF SIZE**



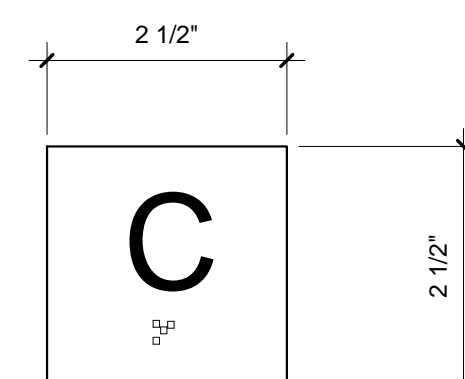
**D2: BUILDING REGULATORY  
N.T.S.**  
Fully adhered vinyl lettering: color, text, font, and size to be confirmed by University



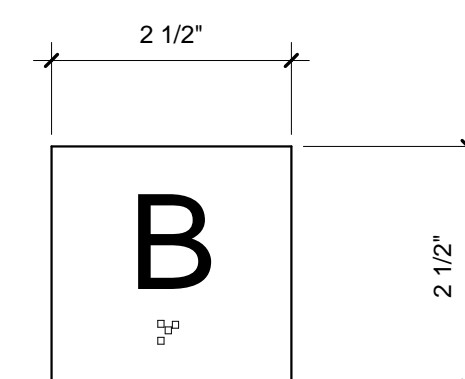
**D1: BUILDING IDENTIFICATION  
N.T.S.**  
Fully adhered vinyl lettering: color, text, font, and size to be confirmed by University



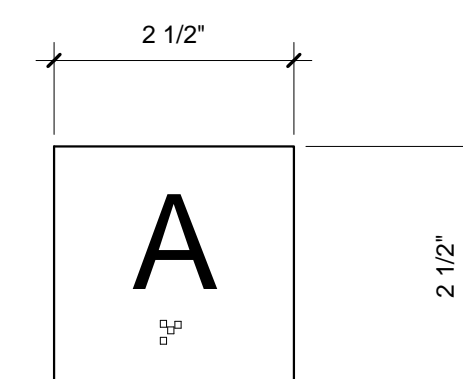
**R3-D ROOM SIGN  
HALF SIZE**



**R3-C ROOM SIGN  
HALF SIZE**



**R3-B ROOM SIGN  
HALF SIZE**



**R3-A ROOM SIGN  
HALF SIZE**



**R2 ROOM SIGN  
HALF SIZE**

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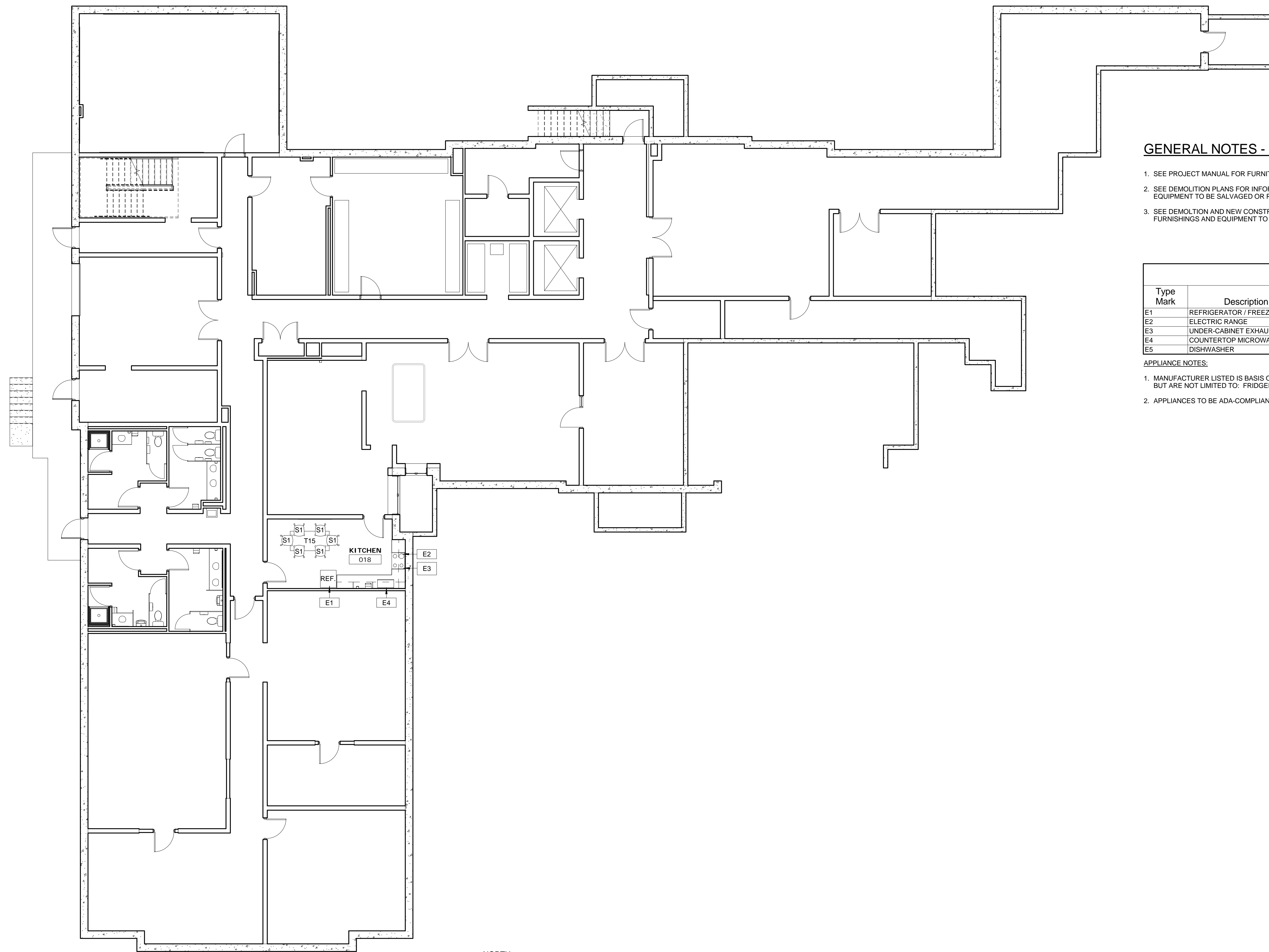
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**GENERAL NOTES - FURNISHINGS AND EQUIPMENT**

- SEE PROJECT MANUAL FOR FURNITURE SCHEDULE.
- SEE DEMOLITION PLANS FOR INFORMATION REGARDING EXISTING FURNISHINGS AND EQUIPMENT TO BE SALVAGED OR REMOVED.
- SEE DEMOLITION AND NEW CONSTRUCTION PLANS FOR INFORMATION REGARDING EXISTING FURNISHINGS AND EQUIPMENT TO REMAIN.

APPLIANCE SCHEDULE					
Type Mark	Description	Manufacturer	Model	Count	Comments
E1	REFRIGERATOR / FREEZER	GE	GTE181THWW	1	
E2	ELECTRIC RANGE	GE	JB460DFWW	2	
E3	UNDER-CABINET EXHAUST HOOD	GE	JVX5300DJWW	2	
E4	COUNTERTOP MICROWAVE OVEN	GE	PEST227DLWW	2	
E5	DISHWASHER	GE	GLDT690JWW	1	

**APPLIANCE NOTES:**

- MANUFACTURER LISTED IS BASIS OF DESIGN MANUFACTURER. ALTERNATE MANUFACTURER'S INCLUDE BUT ARE NOT LIMITED TO: FRIGIDAIRE, WHIRLPOOL.
- APPLIANCES TO BE ADA-COMPLIANT.

**1 | LOWER LEVEL FURNISHINGS & EQUIPMENT PLAN**  
1/8" = 1'-0"



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REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**LOWER LEVEL  
FURNISHINGS &  
EQUIPMENT  
PLAN**

**A900**

**Xavier University  
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Renovation  
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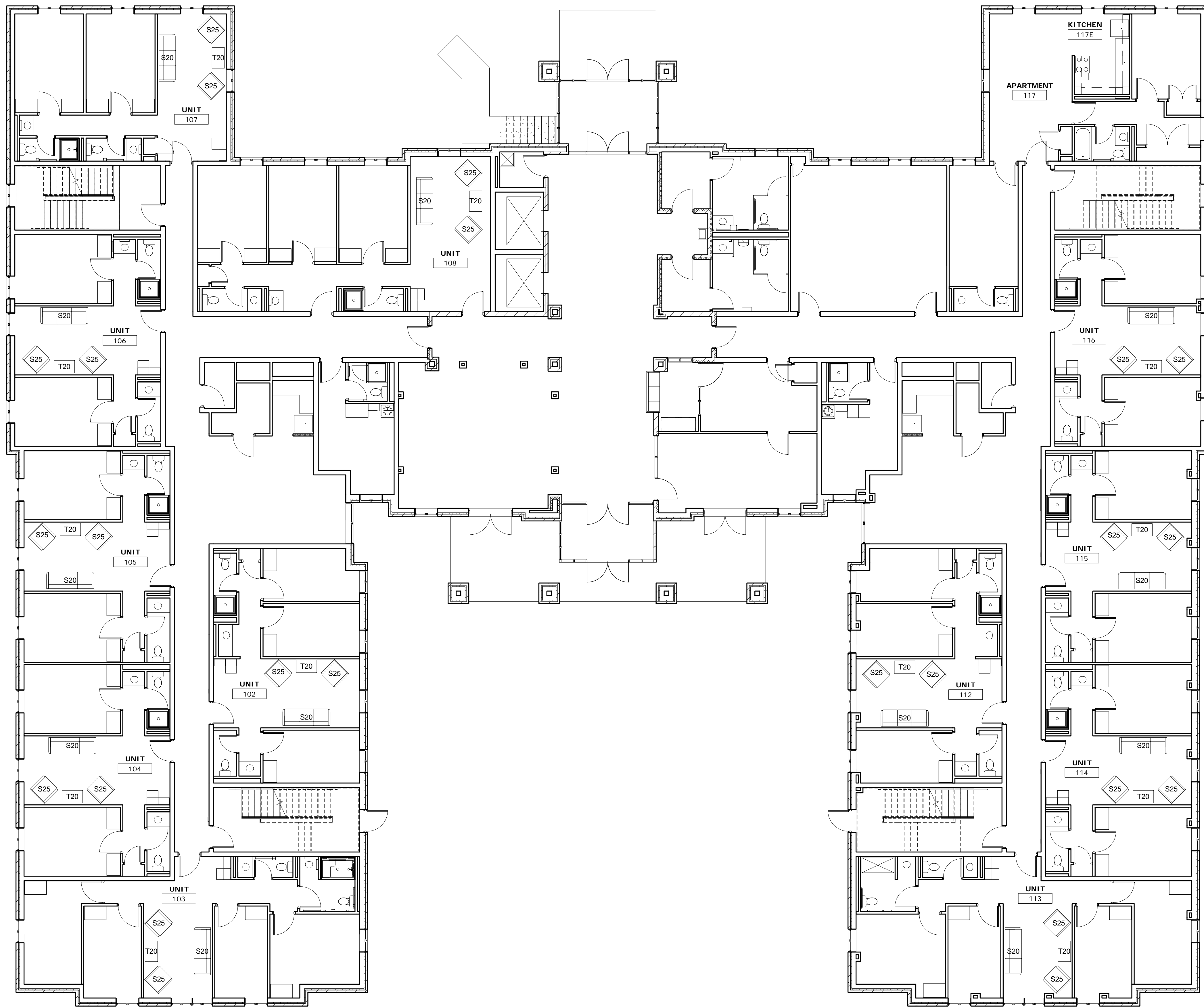
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**GENERAL NOTES - FURNISHINGS AND EQUIPMENT**

- SEE PROJECT MANUAL FOR FURNITURE SCHEDULE.
- SEE DEMOLITION PLANS FOR INFORMATION REGARDING EXISTING FURNISHINGS AND EQUIPMENT TO BE SALVAGED OR REMOVED.
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**APPLIANCE SCHEDULE**

Type Mark	Description	Manufacturer	Model	Count	Comments
E1	REFRIGERATOR / FREEZER	GE	GTE181THWW	1	
E2	ELECTRIC RANGE	GE	JB450DFWW	2	
E3	UNDER-CABINET EXHAUST HOOD	GE	JVX5300DJWW	2	
E4	COUNTERTOP MICROWAVE OVEN	GE	PES7227DLWW	2	
E5	DISHWASHER	GE	GLDT690JWW	1	

**APPLIANCE NOTES:**

- MANUFACTURER LISTED IS BASIS OF DESIGN MANUFACTURER. ALTERNATE MANUFACTURERS INCLUDE BUT ARE NOT LIMITED TO: FRIGIDAIRE, WHIRLPOOL.
- APPLIANCES TO BE ADA-COMPLIANT.

**1 | FIRST FLOOR FURNISHINGS & EQUIPMENT PLAN**  
1/8" = 1'-0"



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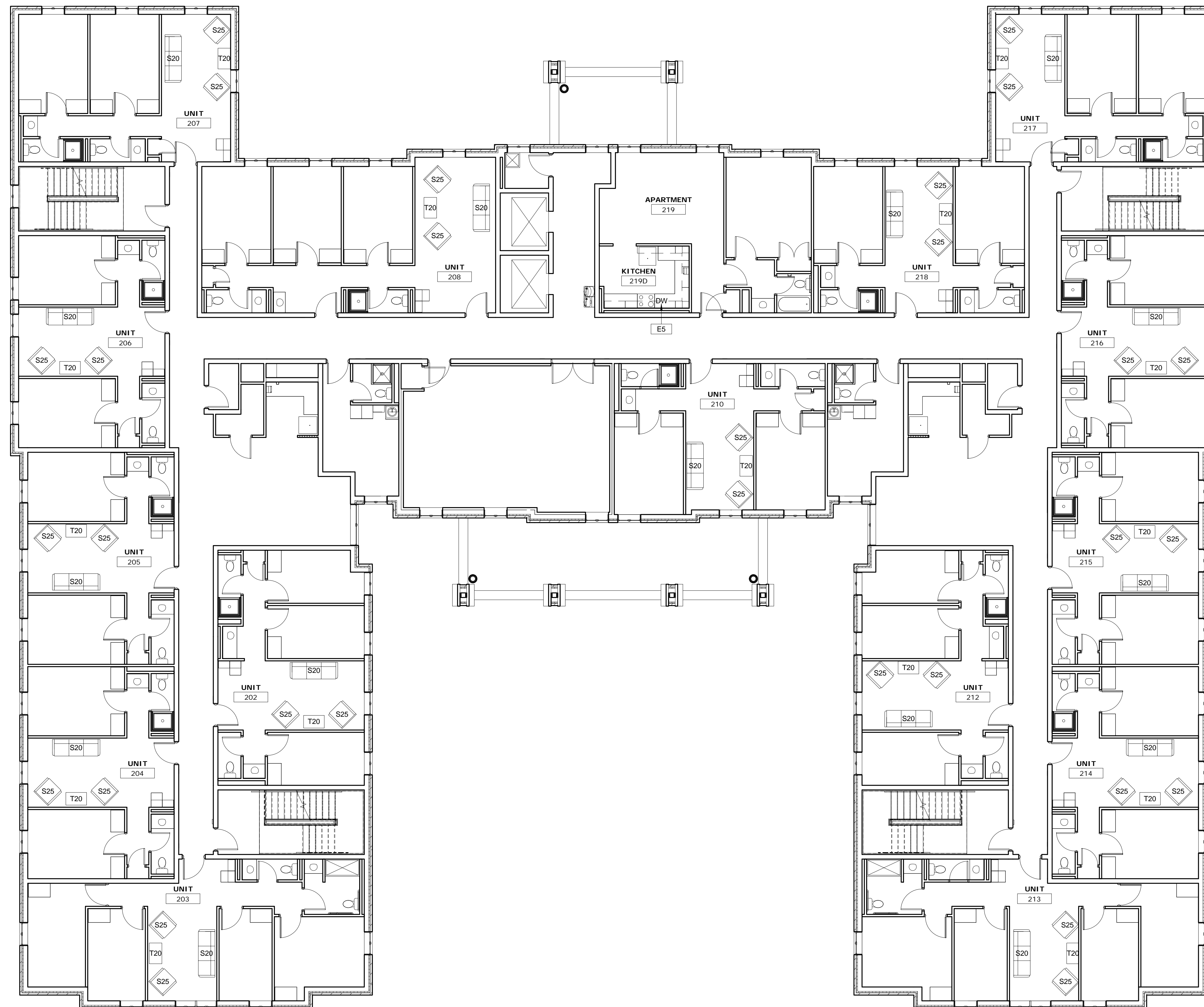
**GENERAL NOTES - FURNISHINGS AND EQUIPMENT**

- SEE PROJECT MANUAL FOR FURNITURE SCHEDULE.
- SEE DEMOLITION PLANS FOR INFORMATION REGARDING EXISTING FURNISHINGS AND EQUIPMENT TO BE SALVAGED OR REMOVED.
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APPLIANCE SCHEDULE					
Type Mark	Description	Manufacturer	Model	Count	Comments
E1	REFRIGERATOR / FREEZER	GE	GTE18ITHWW	1	
E2	ELECTRIC RANGE	GE	JB450DFWW	2	
E3	UNDER-CABINET EXHAUST HOOD	GE	JVX5300DJWW	2	
E4	COUNTERTOP MICROWAVE OVEN	GE	PES722DLWW	2	
E5	DISHWASHER	GE	GLDT69JWW	1	

**APPLIANCE NOTES:**

- MANUFACTURER LISTED IS BASIS OF DESIGN MANUFACTURER. ALTERNATE MANUFACTURERS INCLUDE BUT ARE NOT LIMITED TO: FRIDGEAIRE, WHIRLPOOL.
- APPLIANCES TO BE ADA-COMPLIANT.



**1 | SECOND FLOOR FURNISHINGS & EQUIPMENT PLAN**  
1/8" = 1'-0"



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03/21/2018	CONSTRUCTION DOCUMENTS

**SECOND FLOOR  
FURNISHINGS &  
EQUIPMENT  
PLAN**

**A902**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
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Project #: 17018



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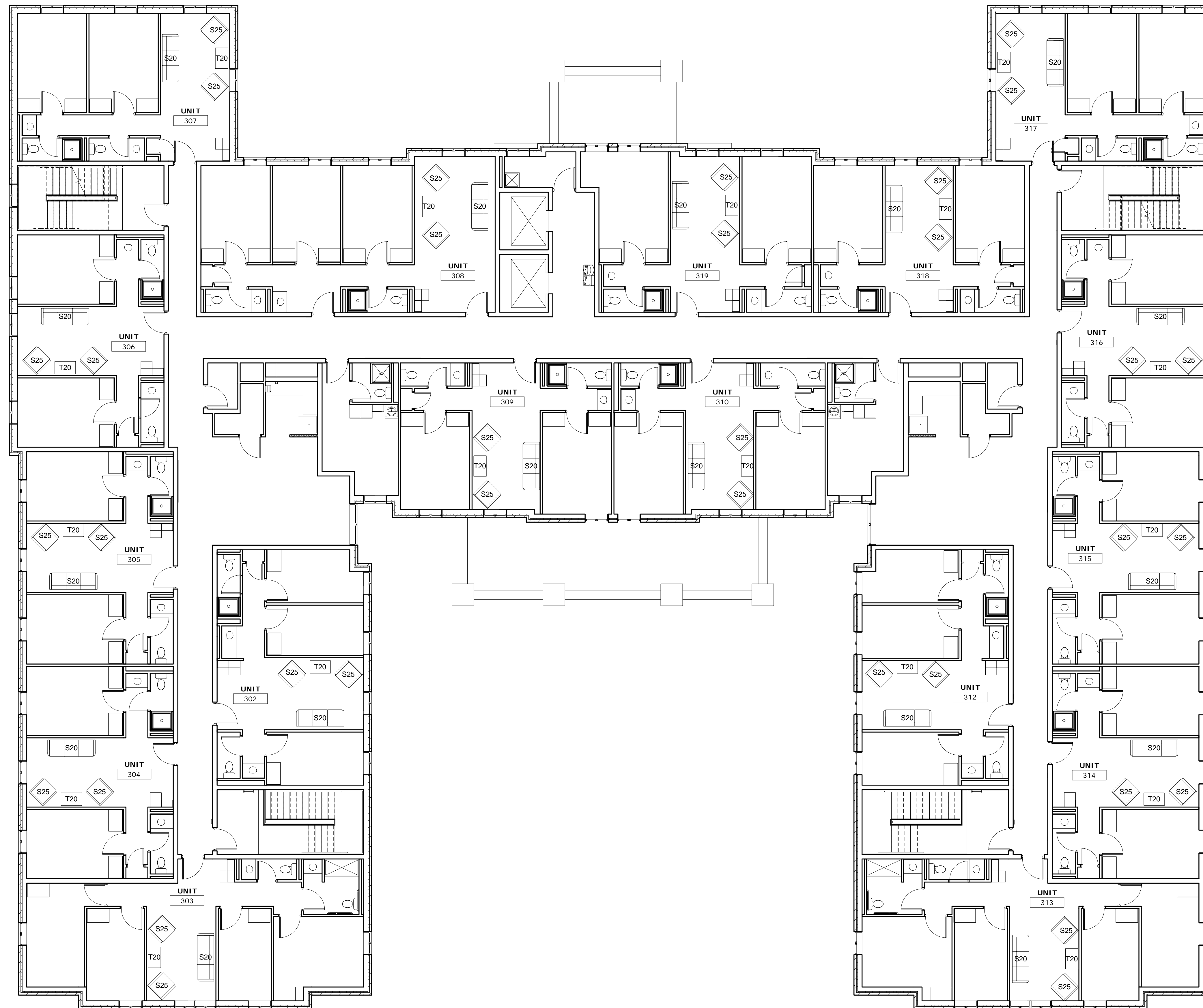
**GENERAL NOTES - FURNISHINGS AND EQUIPMENT**

- SEE PROJECT MANUAL FOR FURNITURE SCHEDULE.
- SEE DEMOLITION PLANS FOR INFORMATION REGARDING EXISTING FURNISHINGS AND EQUIPMENT TO BE SALVAGED OR REMOVED.
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APPLIANCE SCHEDULE					
Type Mark	Description	Manufacturer	Model	Count	Comments
E1	REFRIGERATOR / FREEZER	GE	GTE18ITHWW	1	
E2	ELECTRIC RANGE	GE	JB450DFWW	2	
E3	UNDER-CABINET EXHAUST HOOD	IGE	JVX5300DJWW	2	
E4	COUNTERTOP MICROWAVE OVEN	IGE	PES7227DLWW	2	
E5	DISHWASHER	GE	GLDT690JWW	1	

**APPLIANCE NOTES:**

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- APPLIANCES TO BE ADA-COMPLIANT.



1 | THIRD FLOOR FURNISHINGS & EQUIPMENT PLAN  
1/8" = 1'-0"



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**THIRD FLOOR  
FURNISHINGS &  
EQUIPMENT  
PLAN**

**A903**



**Xavier University  
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Fishbeck, Thompson, Carr &  
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11353 Reed Hartman Hwy.,  
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513-469-2370

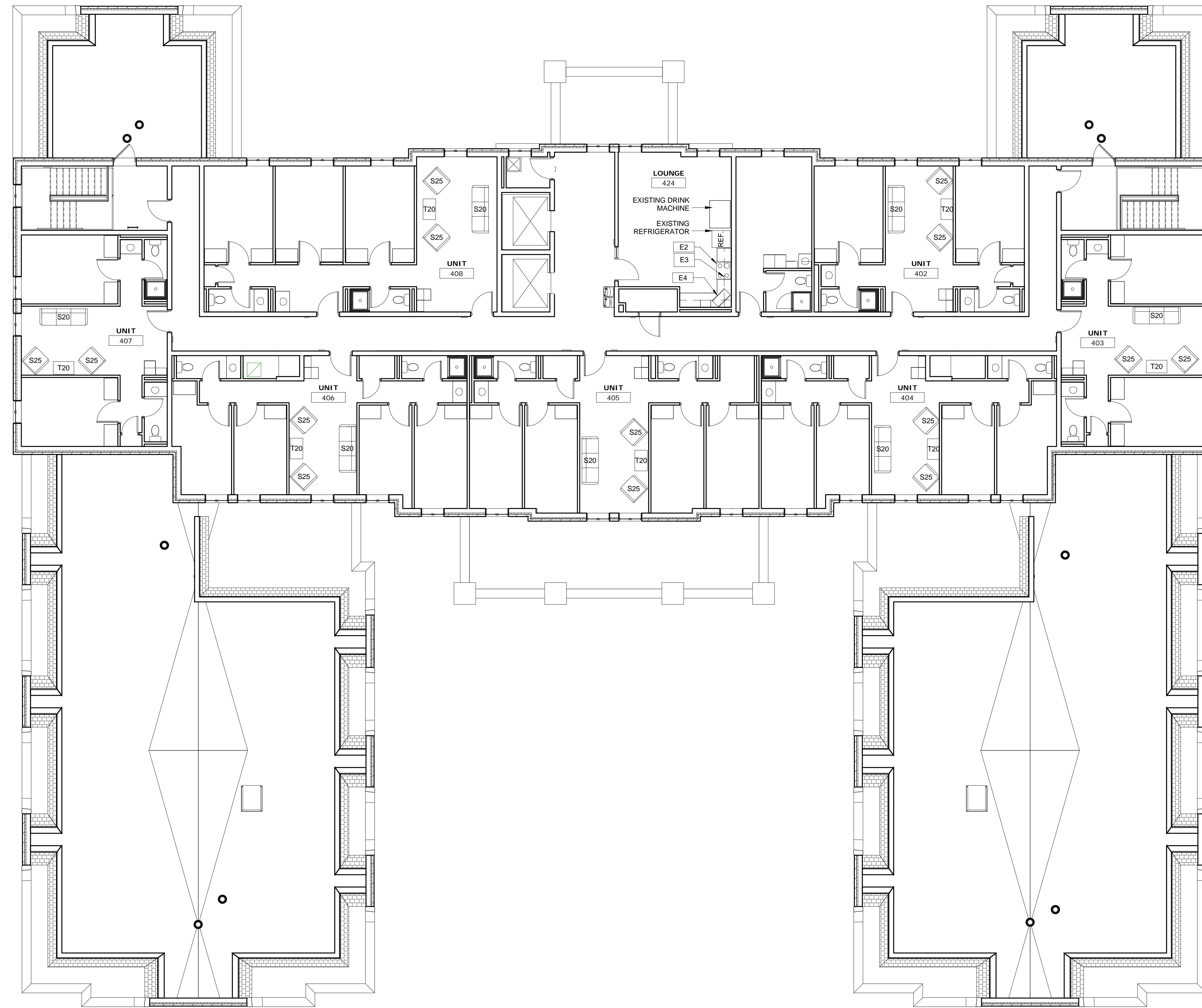
**GENERAL NOTES - FURNISHINGS AND EQUIPMENT**

- SEE PROJECT MANUAL FOR FURNITURE SCHEDULE.
- SEE DEMOLITION PLANS FOR INFORMATION REGARDING EXISTING FURNISHINGS AND EQUIPMENT TO BE SALVAGED OR REMOVED.
- SEE DEMOLITION AND NEW CONSTRUCTION PLANS FOR INFORMATION REGARDING EXISTING FURNISHINGS AND EQUIPMENT TO REMAIN.

APPLIANCE SCHEDULE					
Type Mark	Description	Manufacturer	Model	Count	Comments
E1	REFRIGERATOR / FREEZER	GE	GTE181THWW	1	
E2	ELECTRIC RANGE	GE	JB450DFWW	2	
E3	UNDER-CABINET EXHAUST HOOD	GE	JVX5300DJWW	2	
E4	COUNTERTOP MICROWAVE OVEN	GE	PES7227DLWW	2	
E5	DISHWASHER	GE	GLDT69QJWW	1	

**APPLIANCE NOTES:**

- MANUFACTURER LISTED IS BASIS OF DESIGN MANUFACTURER. ALTERNATE MANUFACTURERS INCLUDE BUT ARE NOT LIMITED TO: FRIGIDAIRE, WHIRLPOOL.
- APPLIANCES TO BE ADA-COMPLIANT.



**1 | FOURTH FLOOR FURNISHINGS & EQUIPMENT PLAN**  
1/8" = 1'-0"



CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

REVISION

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REV #	DATE	DESCRIPTION

ISSUE

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

DWG TITLE

**FOURTH FLOOR  
FURNISHINGS &  
EQUIPMENT  
PLAN**

SHEET NO.

**A904**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
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**NOTES**

1. REMOVE ALL PORTIONS OF WORK IDENTIFIED BY CROSS HATCHING UNLESS NOTED OTHERWISE.
2. FIELD DETERMINE EXACT LOCATIONS AND REMOVE PORTIONS OF PIPING SHOWN BY CROSS-HATCHING. SCHEDULE SHUT-DOWNS WITH OWNER. CAP ALL OPEN PIPE ENDS AT END OF WORK DAY. REFER TO OTHER DRAWINGS FOR COORDINATION OF EXTENT OF DEMOLITION WITH NEW WORK.
3. PIPE THAT IS DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL CONDITION.
4. PROVIDE ISOLATION, DRAINING, AND FILLING OF PIPING SYSTEMS AS REQUIRED TO PERFORM THE WORK OF DEMOLITION.

**KEY NOTES**

1. LAVATORY AND SHUT OFF VALVES SHALL BE REMOVED. TEMPORARILY CAP HW AND CW PIPES FOR RE-CONNECTION TO NEW FIXTURE.
2. WATER CLOSET AND SHUT OFF VALVE SHALL BE REMOVED. TEMPORARILY CAP CW PIPE FOR RE-CONNECTION TO NEW FIXTURE.
3. SHOWER ENCLOSURE, FIXTURE, DRAIN AND HEAD TO BE REMOVED. REMOVE HW AND CW PIPE AS REQUIRED FOR INSTALLATION OF NEW SHOWER AND TEMPORARILY CAP. TEMPORARILY CAP SAN PIPE AS REQUIRED. REFER TO ARCHITECTURAL DRAWINGS FOR SHOWER ENCLOSURE REMOVAL.
4. URINAL TO REMAIN. REMOVE FLUSH VALVE AND TEMPORARILY CAP CW FOR RE-CONNECTION TO NEW FLUSH VALVE.
5. EWC TO REMAIN.
6. SINK AND SHUT OFF VALVES TO BE REMOVED. TEMPORARILY CAP CW, HW, AND SAN PIPE FOR RE-CONNECTION TO NEW FIXTURE.

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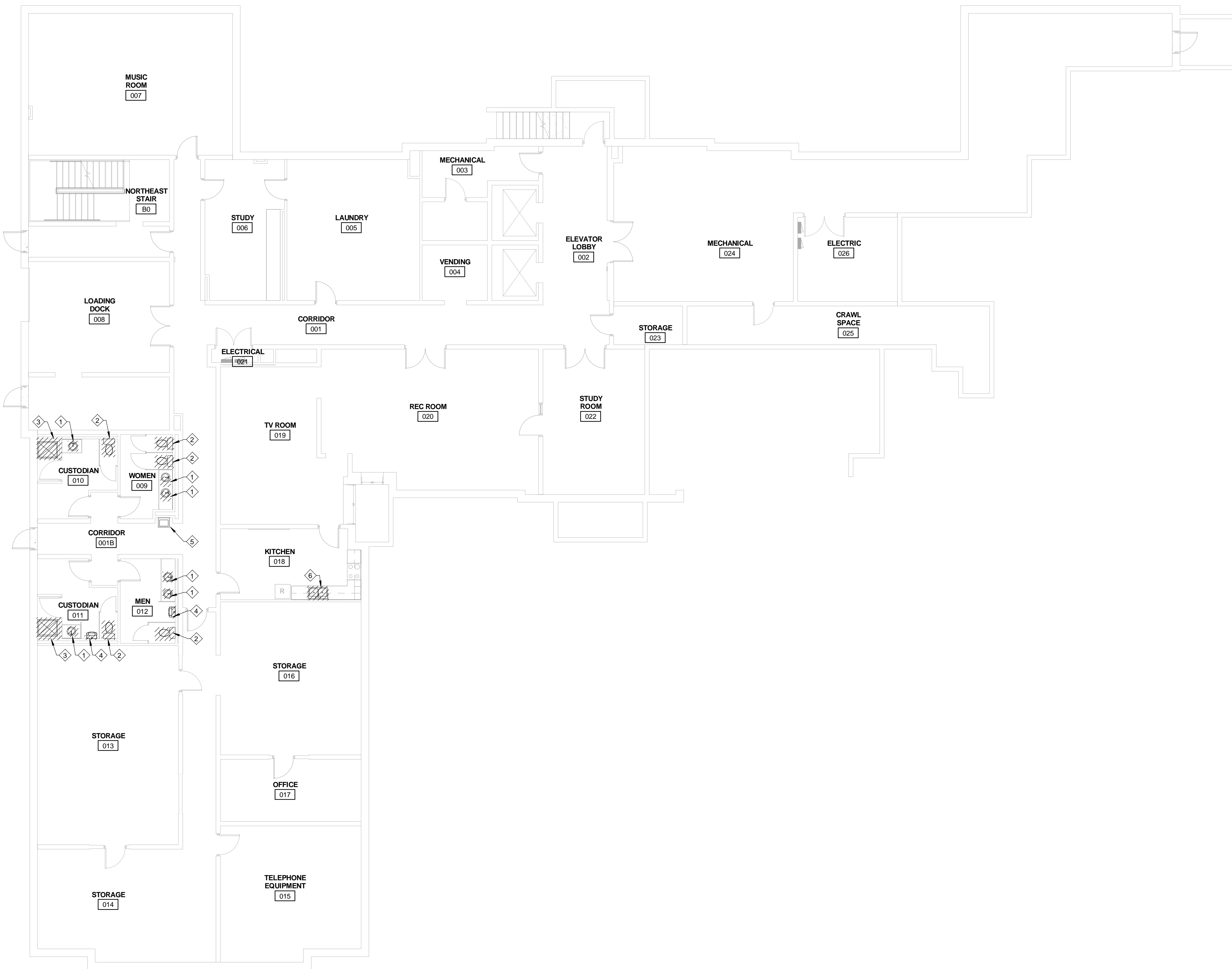
NOTES

DWG TITLE

**PLUMBING  
DEMOLITION  
PLAN - LOWER  
LEVEL**

SHEET NO.

**PD100**



NORTH

**PLUMBING DEMOLITION PLAN - LOWER LEVEL**

SCALE: 1/8" = 1'-0"

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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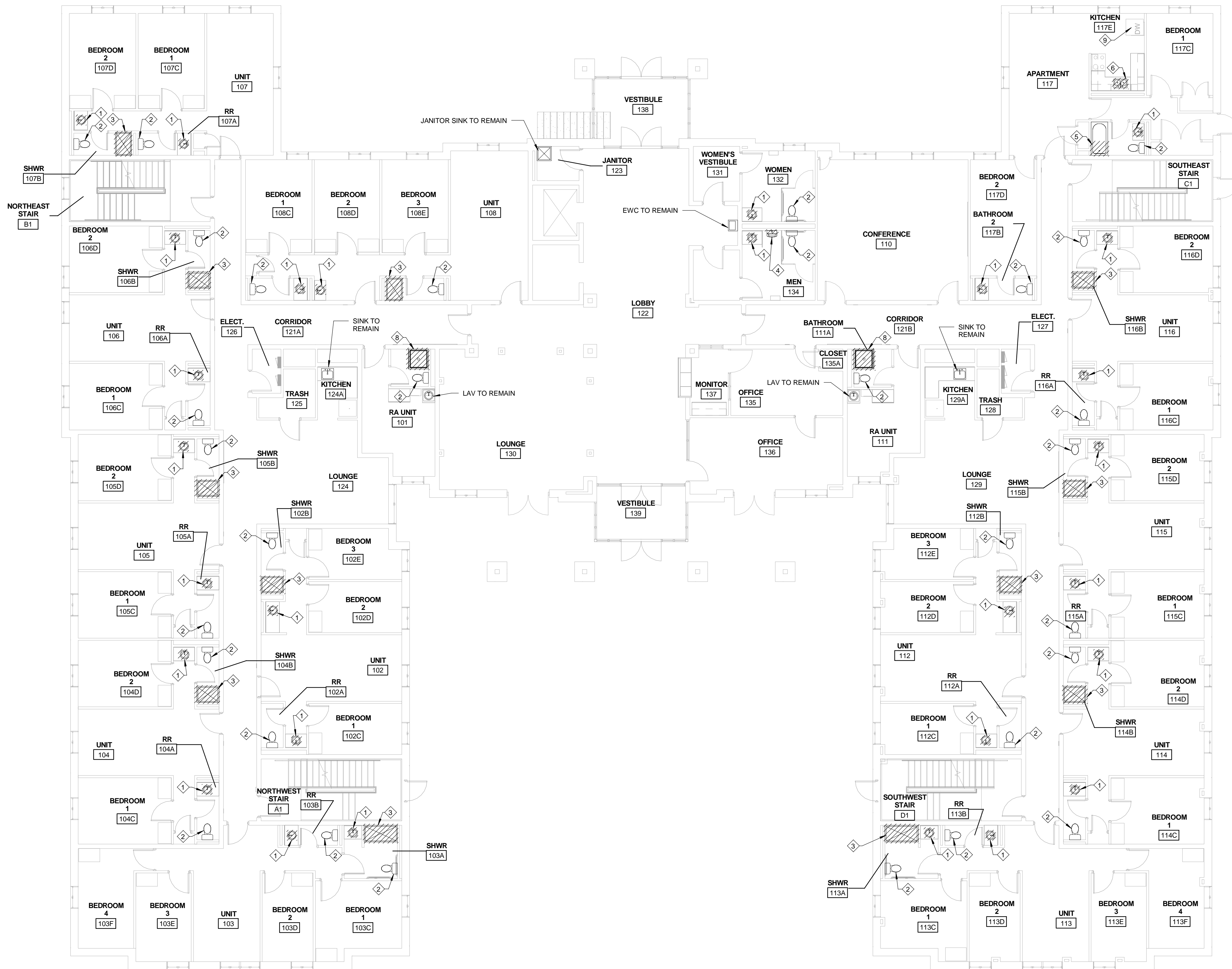


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2. FIELD DETERMINE EXACT LOCATIONS AND REMOVE PORTIONS OF PIPING SHOWN BY CROSS-HATCHING. SCHEDULE SHUT-DOWNS WITH OWNER. CAP ALL OPEN PIPE ENDS AT END OF WORK DAY. REFER TO OTHER DRAWINGS FOR COORDINATION OF EXTENT OF DEMOLITION WITH NEW WORK.
3. PIPE THAT IS DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL CONDITION.
4. PROVIDE ISOLATION, DRAINING, AND FILLING OF PIPING SYSTEMS AS REQUIRED TO PERFORM THE WORK OF DEMOLITION.

**KEY NOTES**

1. LAVATORY AND SHUT OFF VALVES TO BE REMOVED. TEMPORARILY CAP HW AND CW PIPES FOR FUTURE CONNECTION.
2. WATER CLOSET TO REMAIN. RESET EXISTING FLOOR MOUNTED WATER CLOSET WITH NEW BOLTS AND GASKETS AND RE-CAULK.
3. SHOWER ENCLOSURE, FIXTURE, DRAIN AND HEAD TO BE REMOVED. REMOVE HW AND CW PIPE AS REQUIRED FOR INSTALLATION OF NEW SHOWER AND TEMPORARILY CAP. TEMPORARILY CAP SAN PIPE AS REQUIRED. REFER TO ARCHITECTURAL DRAWINGS FOR SHOWER ENCLOSURE REMOVAL.
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9. DISHWASHER TO RELOCATED. TEMPORARILY CAP HOT WATER SUPPLY AND SANITARY FOR CONNECTION TO DISHWASHER IN NEW LOCATION.



**PLUMBING DEMOLITION PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

SHEET REVISION		
REV #	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

NOTES

**DWG TITLE**  
**PLUMBING  
DEMOLITION  
PLAN - FIRST  
FLOOR**

**SHEET NO.**  
**PD101**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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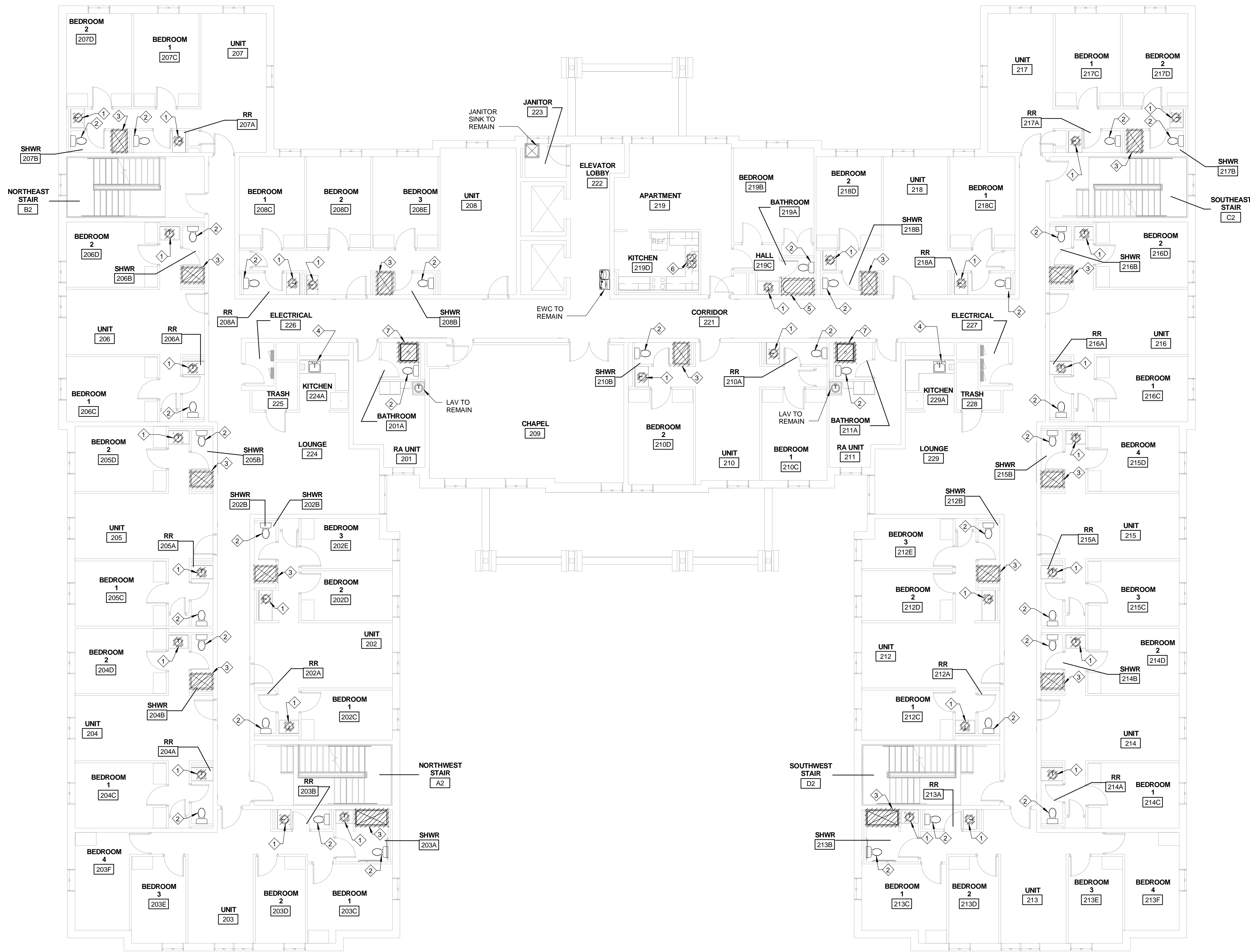


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4. SINK TO REMAIN.
5. SHOWER AND TUB TO REMAIN. REMOVE HEAD, FAUCET, HANDLE, AND VALVE. TEMPORARILY CAP HW AND CW FOR FUTURE CONNECTION.
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**PLUMBING DEMOLITION PLAN - SECOND FLOOR**

SCALE: 1/8" = 1'-0"

NORTH

SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

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**DWG TITLE**  
**PLUMBING  
DEMOLITION  
PLAN - SECOND  
FLOOR**

**SHEET NO.**  
**PD102**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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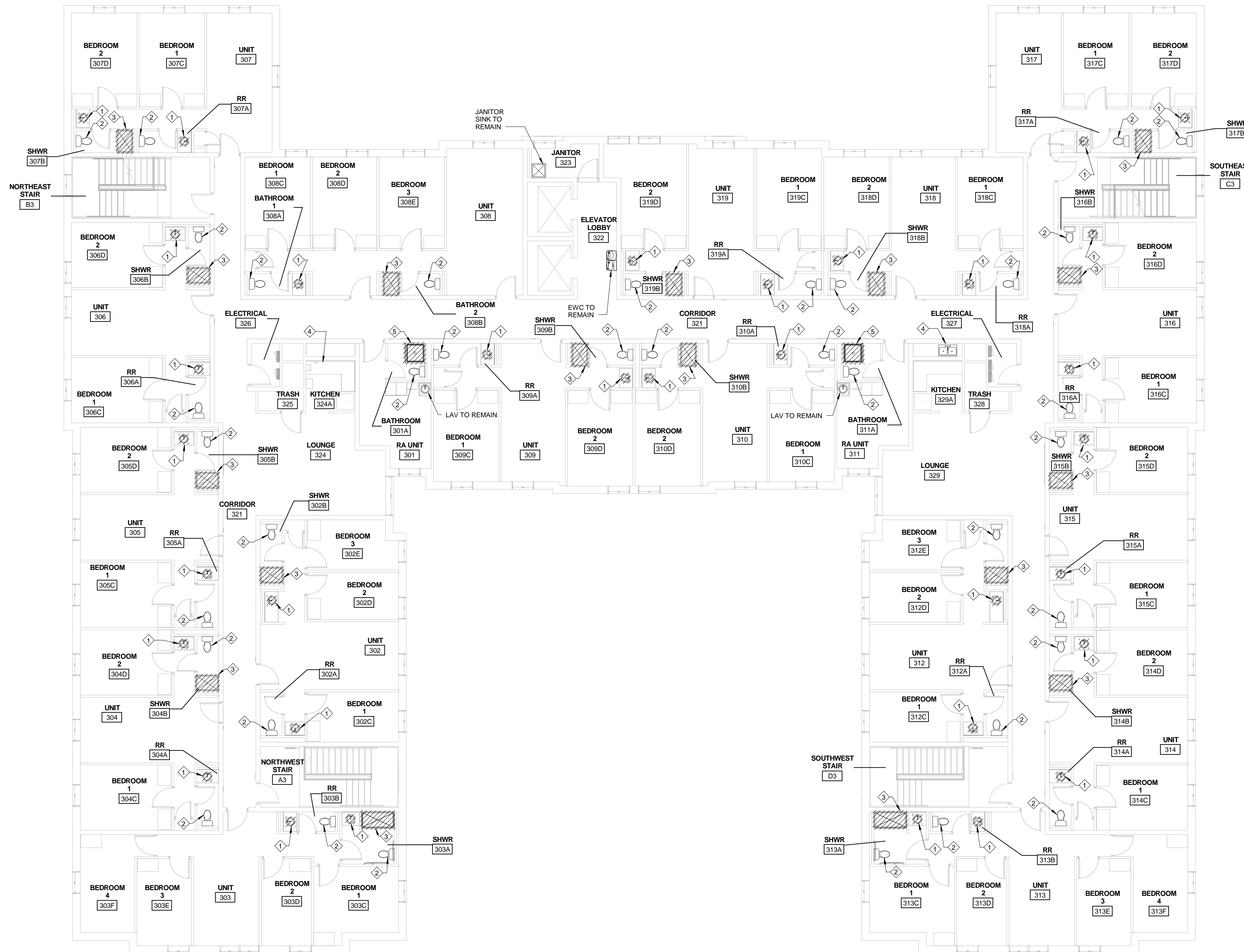


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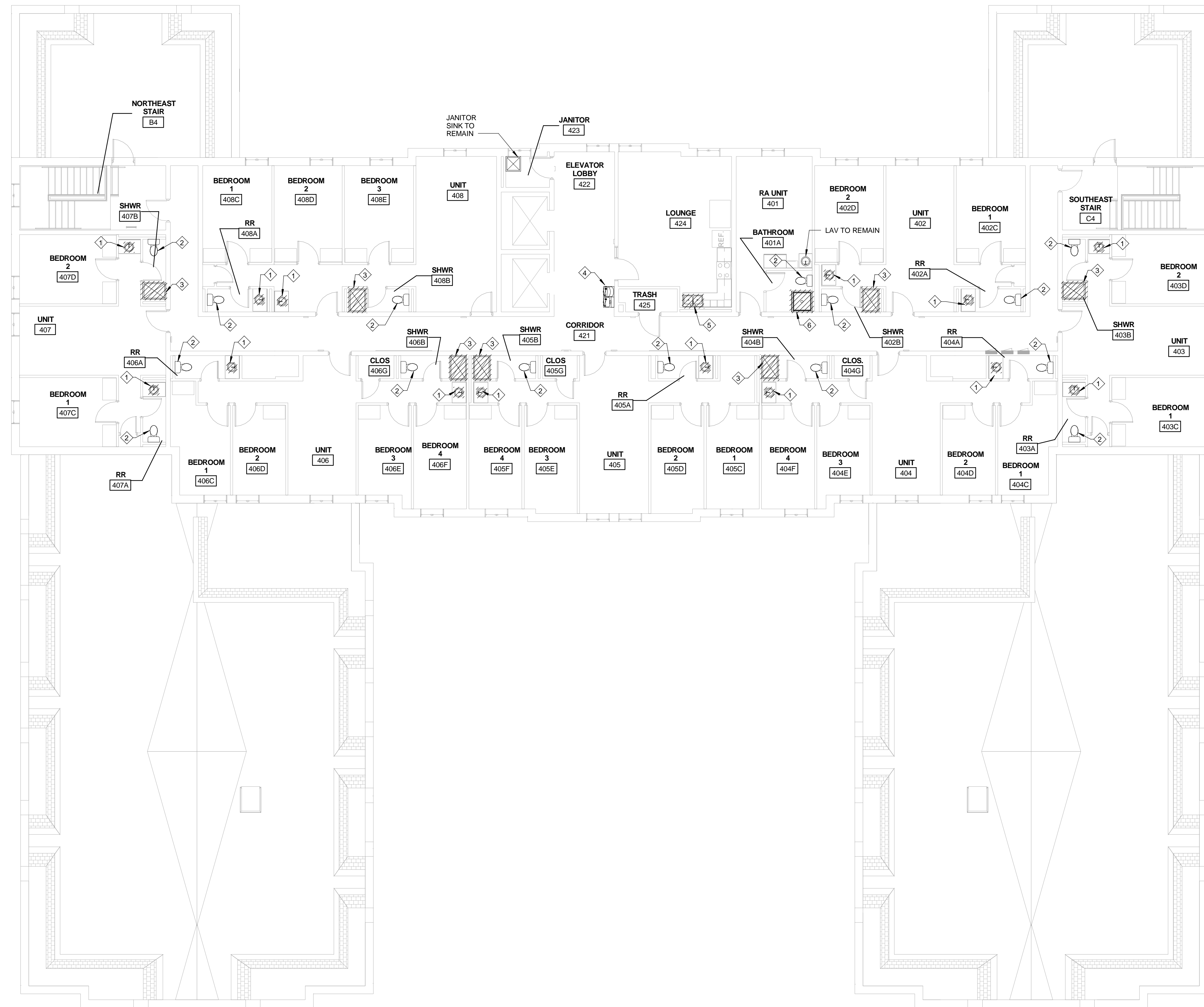
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4. SINK TO REMAIN.
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**PLUMBING DEMOLITION PLAN - THIRD FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

REVISION	SHEET REVISION		
	REV #	DATE	DESCRIPTION
ISSUE	DATE	DESCRIPTION	
	03/21/2018	CONSTRUCTION DOCUMENTS	
NOTES			
DWG TITLE	<b>PLUMBING DEMOLITION PLAN - THIRD FLOOR</b>		
SHEET NO.	<b>PD103</b>		



**PLUMBING DEMOLITION PLAN - FOURTH FLOOR**  
 SCALE: 1/8" = 1'-0"  
 NORTH

- NOTES**
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- KEY NOTES**
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  - EWC SINK TO REMAIN.
  - SINK AND SHUT OFF VALVES TO BE REMOVED. TEMPORARILY CAP CW, HW, AND SAN PIPE FOR RE-CONNECTION TO NEW FIXTURE.
  - SHOWER PAN AND DRAIN TO REMAIN. SHOWER DOORS, WALLS, FIXTURE, AND HEAD TO BE REMOVED. REMOVE HW AND CW PIPE AS REQUIRED FOR INSTALLATION OF NEW SHOWER AND TEMPORARILY CAP. REFER TO ARCHITECTURAL DRAWINGS FOR SHOWER WALLS AND DOOR REMOVAL.

CONSULTANTS ARCHITECT  
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**PLUMBING, MECHANICAL &  
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 Cincinnati, OH 45241  
 513-469-2370



SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

NOTES

DWG TITLE  
**PLUMBING  
 DEMOLITION  
 PLAN - FOURTH  
 FLOOR**

SHEET NO.  
**PD104**

**GENERAL NOTES**

**PLUMBING PIPING NOTES**

1. WORK SHALL BE INSTALLED IN ACCORDANCE W/ THE STATE OF OHIO PLUMBING CODE
2. THE PLUMBING CONTRACTOR IS TO SECURE AND VERIFY ALL MEASUREMENTS AND CONDITIONS AT JOB BEFORE PROCEEDING WITH FABRICATION OF WORK.
3. THE PLUMBING CONTRACTOR IS TO PROVIDE ALL ADDITIONAL STEEL, HANGER MATERIALS, RODS AND CLAMPS AS REQUIRED FOR COORDINATION WITH WORK OF OTHER TRADES.
4. PIPE INSULATION THAT IS DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL CONDITION.
5. WHERE NEW CONNECTIONS TO EXISTING PIPE ARE INDICATED, SYSTEM SERVICE INTERRUPTION IS TO BE MINIMIZED AND COORDINATED WITH OWNER. TIE-IN METHODS TO INCLUDE HOT TAP AS REQUIRED.
6. ALL FIXTURES TO BE EQUIPPED WITH STOP VALVES IN ACCESSIBLE LOCATION.

PLUMBING FIXTURE SCHEDULE	
IDENTIFICATION	DESCRIPTION
WC-1	<p>WATER CLOSET: FLOOR MOUNTED, TANK, FLUSH VALVE</p> <ol style="list-style-type: none"> <li>1. MODEL: AMERICAN STANDARD NO. 215CA.104 "CADET PRO", VITREOUS CHINA, ELONGATED BOWL, 1.28 GPF, TANK, 2-1/8-INCH PASSAGEWAY (MINIMUM), 12" ROUGH-IN.</li> <li>2. SEAT: AMERICAN STANDARD 5901.100, HEAVY DUTY, OPEN FRONT, ANTIMICROBIAL PROTECTION, ELONGATED BOWL, OPEN-FRONT LESS COVER WITH SELF-SUSTAINING STAINLESS STEEL HINGES.</li> <li>3. SUPPLIES: CHICAGO FAUCETS NO. 1017, 3/8-INCH KEY OPERATED ANGLE STOPS WITH ANNEALED RISERS.</li> </ol>
UR-1 (ADA)	<p>URINAL: FLUSH VALVE</p> <ol style="list-style-type: none"> <li>1. VALVE: SLOAN NO. 186-0.5, (1/2 GALLON) GPF, 3/4" INLET, VACUUM BREAKER.</li> </ol>
LAV-1 (ADA)	<p>LAVATORY:</p> <ol style="list-style-type: none"> <li>1. MODEL: KOHLER "OVALYN" MODEL #0497.221, OVAL UNDERMOUNT SINK, SELF RIMMING, VITREOUS CHINA, WITH FRONT OVERFLOW.</li> <li>2. TRIM: WOLVERINE BRASS NO. 85250, 4" FIXED CENTERS, LEVER HANDLE, SOLID BRASS POP UP ASSEMBLY, LESS THAN 0.25% LEAD BY WEIGHT BRASS CONSTRUCTION.</li> <li>3. SUPPLIES: CHICAGO FAUCETS NO. 1017, 3/8-INCH KEY OPERATED ANGLE STOPS WITH ANNEALED RISERS.</li> <li>4. PIPE SAFETY COVERS: BASED ON PRO-EXTREME.</li> <li>5. PROVIDE INDIVIDUAL TEMPERING VALVE MEETING ASSE 1070, SET TO MAX 110°F.</li> <li>6. DRAIN: 1-1/4-INCH CHROME TAILPIECE AND STRAINER.</li> <li>7. TRAP: 1-1/4-INCH P-TRAP WITH CLEANOUT PLUG.</li> </ol>
LAV-2 (ADA)	<p>LAVATORY:</p> <ol style="list-style-type: none"> <li>1. KOHLER "OVALYN" MODEL #0497.221, OVAL UNDERMOUNT SINK, SELF RIMMING, VITREOUS CHINA, WITH FRONT OVERFLOW.</li> <li>2. TRIM: WOLVERINE BRASS NO. 90022, 6"-16" CENTERS, 4" WRISTBLADE HANDLES, LESS THAN 0.25% LEAD BY WEIGHT BRASS CONSTRUCTION.</li> <li>3. SUPPLIES: CHICAGO FAUCETS NO. 1017, 3/8-INCH KEY OPERATED ANGLE STOPS WITH ANNEALED RISERS.</li> <li>4. PIPE SAFETY COVERS: BASED ON PRO-EXTREME.</li> <li>5. PROVIDE INDIVIDUAL TEMPERING VALVE MEETING ASSE 1070, SET TO MAX 110°F.</li> <li>6. 1-1/4-INCH CHROME TAILPIECE AND SOLID BRASS GRID DRAIN.</li> <li>7. TRAP: 1-1/4-INCH P-TRAP WITH CLEANOUT PLUG.</li> </ol>
S-1	<p>SINK: STAINLESS STEEL</p> <ol style="list-style-type: none"> <li>1. ELKAY "LUSTERTONE " ELUH3118, EQUAL DOUBLE BOWL, 18 GAGE, TYPE 300 STAINLESS STEEL, SELF-RIMMING, UNDERMOUNT, 30-3/4"x18-1/2"x7-7/8"</li> <li>2. TRIM: AMERICAN STANDARD "MONTERREY" - 6114.301 SOLID BRASS CHROME PLATED FIELD-CONVERTIBLE - RIGID/SWING GOOSE NECK DECK FAUCET, METAL HANDLE WITH RED/BLUE INDEX, WITH COLOR MATCHED SPRAY.</li> <li>3. SUPPLY: 3/8-INCH KEY OPERATED ANGLE STOPS WITH ANNEALED RISERS.</li> <li>4. DRAIN: 1-1/4-INCH O.D. TAILPIECE AND PERFECT DRAIN STRAINER ASSEMBLY - ELKAY MODEL LKPD1.</li> <li>5. TRAP: CHROME-PLATED P-TRAP WITH CLEANOUT PLUG.</li> <li>6. CHROME ESCUTCHEONS</li> <li>7. 1.5 GPM AERATOR</li> <li>8. ASSE APPROVED UNDER COUNTER HOT WATER TEMPERING VALVE, SET TO MAX 110°F.</li> </ol>
S-2 (ADA)	<p>SINK: STAINLESS STEEL</p> <ol style="list-style-type: none"> <li>1. ELKAY "LUSTERTONE " ELUHAD311855, EQUAL DOUBLE BOWL, 18 GAGE, TYPE 300 STAINLESS STEEL, SELF-RIMMING, UNDERMOUNT, 30-3/4"x18-1/2"x5-3/8" PIPED PER ADA STANDARDS.</li> <li>2. TRIM: AMERICAN STANDARD "MONTERREY" - 6114.301 SOLID BRASS CHROME PLATED FIELD-CONVERTIBLE - RIGID/SWING GOOSE NECK DECK FAUCET, METAL HANDLE WITH RED/BLUE INDEX, WITH COLOR MATCHED SPRAY.</li> <li>3. SUPPLY: 3/8-INCH KEY OPERATED ANGLE STOPS WITH ANNEALED RISERS.</li> <li>4. DRAIN: 1-1/4-INCH O.D. TAILPIECE AND PERFECT DRAIN STRAINER ASSEMBLY - ELKAY MODEL LKPD1.</li> <li>5. TRAP: CHROME-PLATED P-TRAP WITH CLEANOUT PLUG.</li> <li>6. CHROME ESCUTCHEONS</li> <li>7. 1.5 GPM AERATOR</li> <li>8. ASSE APPROVED UNDER COUNTER HOT WATER TEMPERING VALVE, SET TO MAX 110°F.</li> <li>9. PIPE SAFETY COVERS: BASED ON PRO-EXTREME.</li> </ol>
SH-1	<p>SHOWER:</p> <ol style="list-style-type: none"> <li>1. GENERAL CONTRACTOR SHALL PROVIDE SHOWER BASE, WALLS AND ALL OTHER ACCESSORIES. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.</li> <li>2. PROVIDE AND INSTALL NEW TRIM: SYMMONS "ORIGINS" TRIM KIT MODEL NO. 9601-PLR, 2.5 GPM FLOW RATE, METAL LEVER HANDLE, 1 MODE SHOWER HEAD, POLISHED CHROME FINISH, AND TEMPTROL PRESSURE BALANCING VALVE.</li> <li>3. RE-WORK EXISTING CW AND HW PIPING AS REQUIRED FOR INSTALLATION OF NEW SHOWER AND TRIM.</li> </ol>
SH-2	<p>SHOWER:</p> <ol style="list-style-type: none"> <li>1. GENERAL CONTRACTOR SHALL PROVIDE SHOWER WALLS AND ALL OTHER ACCESSORIES. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.</li> <li>2. PROVIDE AND INSTALL NEW TRIM: SYMMONS "ORIGINS" TRIM KIT MODEL NO. 9601-PLR, 2.5 GPM FLOW RATE, METAL LEVER HANDLE, 1 MODE SHOWER HEAD, POLISHED CHROME FINISH, AND TEMPTROL PRESSURE BALANCING VALVE.</li> <li>3. RE-WORK EXISTING CW AND HW PIPING AS REQUIRED FOR INSTALLATION OF NEW SHOWER AND TRIM.</li> </ol>
SH-3/BT-1	<p>SHOWER / BATH TUB</p> <ol style="list-style-type: none"> <li>1. EXISTING BATH TUB TO REMAIN. REMOVE EXISTING SHOWER HEAD, VALVE, AND SPOUT.</li> <li>2. PROVIDE AND INSTALL NEW TRIM: SYMMONS "ORIGINS" TRIM KIT MODEL NO. 9602-PLR, 2.5 GPM FLOW RATE, METAL LEVER HANDLE, 1 MODE SHOWER HEAD, AND DIVERTER TUB SPOUT, POLISHED CHROME FINISH, AND TEMPTROL PRESSURE BALANCING VALVE.</li> </ol>
SH-4 (ADA)	<p>SHOWER:</p> <ol style="list-style-type: none"> <li>1. GENERAL CONTRACTOR SHALL PROVIDE SHOWER BASE, WALLS AND ALL OTHER ACCESSORIES. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.</li> <li>2. PROVIDE AND INSTALL NEW TRIM: SYMMONS "ORIGINS" TRIM KIT MODEL NO. 9601-PLR, 2.5 GPM FLOW RATE, METAL LEVER HANDLE WITH DIVERTER, 1 MODE SHOWER HEAD, MODEL NO. 9603 HAND SHOWER WITH 48" SLIDE BAR, 60" FLEXIBLE METAL HOSE, IN LINE VACUUM BREAKER, POLISHED CHROME FINISH, AND TEMPTROL PRESSURE BALANCING VALVE.</li> </ol>

**Xavier University  
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Phase 2**

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03/21/2018	CONSTRUCTION DOCUMENTS

ISSUE	
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03/21/2018	CONSTRUCTION DOCUMENTS

NOTES	

**NOTES AND  
LEGENDS**

**NOTES AND  
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**P000**

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NOTES

DWG TITLE

SHEET NO.

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
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45202-2231  
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f. (513) 665-9857

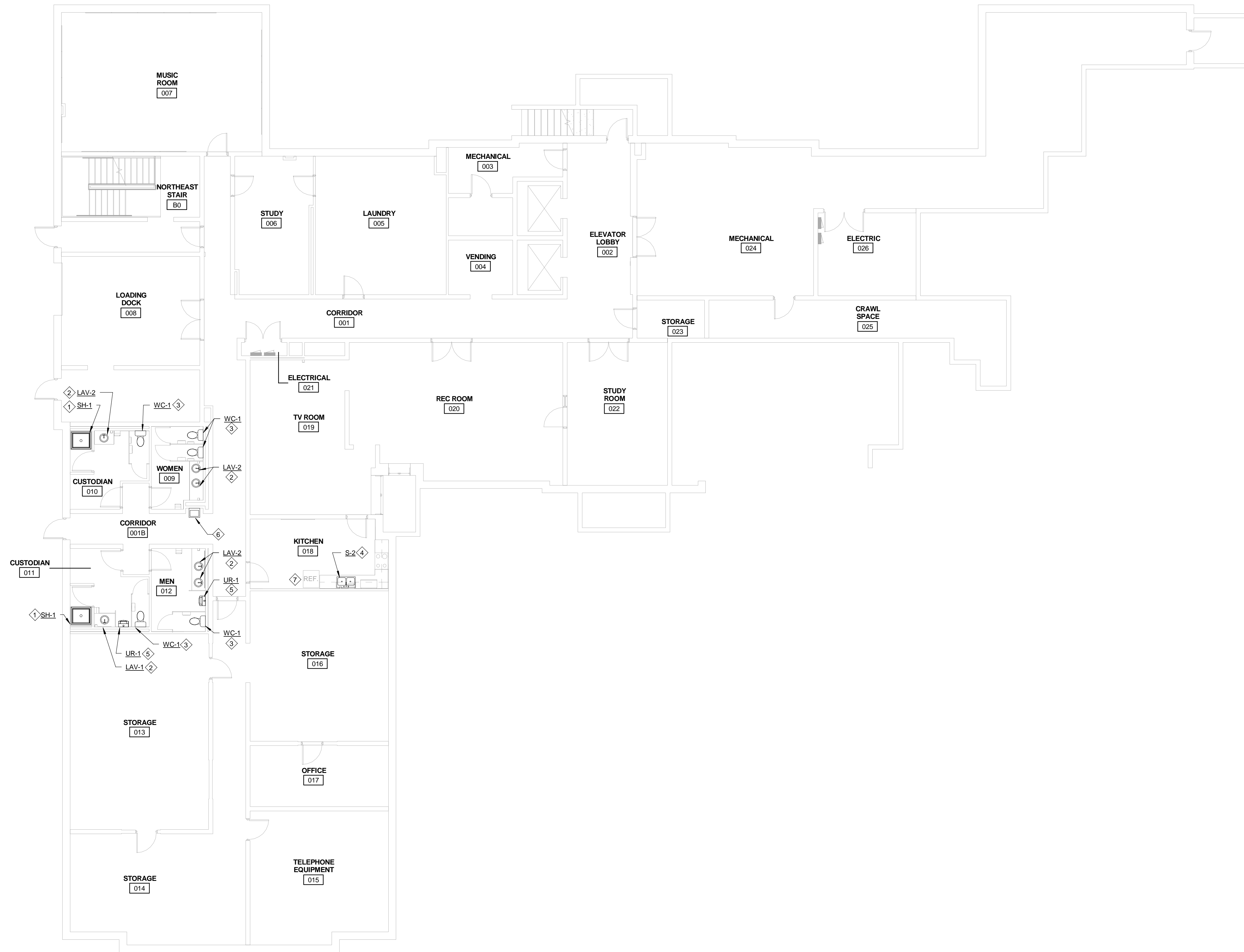
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**NOTES**

1. CONTRACTOR SHALL FIELD VERIFY HAND OF EXISTING SHOWER HEAD AND VALVE AND COORDINATE WITH GENERAL CONTRACTOR FOR INSTALLING NEW SHOWER.
2. PROVIDE NEW ISOLATION VALVES ON HOT AND COLD WATER SUPPLY AT ALL NEW FAUCETS AS NOTED ON FIXTURE SCHEDULE.

**KEY NOTES**

1. REVISE EXISTING CW AND HW AS REQUIRED FOR INSTALLING NEW SHOWER. CONNECT EXISTING SAN TO NEW SHOWER DRAIN.
2. CONNECT NEW LAV TO EXISTING HW, CW AND SANITARY AS REQUIRED.
3. CONNECT NEW WATER CLOSET TO EXISTING CW AND SANITARY AS REQUIRED.
4. CONNECT NEW SINK TO EXISTING HW, CW AND SANITARY AS REQUIRED.
5. CONNECT NEW URINAL FLUSH VALVE TO EXISTING CW.
6. EXISTING EWC TO REMAIN.
7. EXISTING REFRIGERATOR TO REMAIN.



**PLUMBING PLAN - LOWER LEVEL**

SCALE: 1/8" = 1'-0"

NORTH

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DWG TITLE

**PLUMBING  
PLAN - LOWER  
LEVEL**

SHEET NO.

**P100**



**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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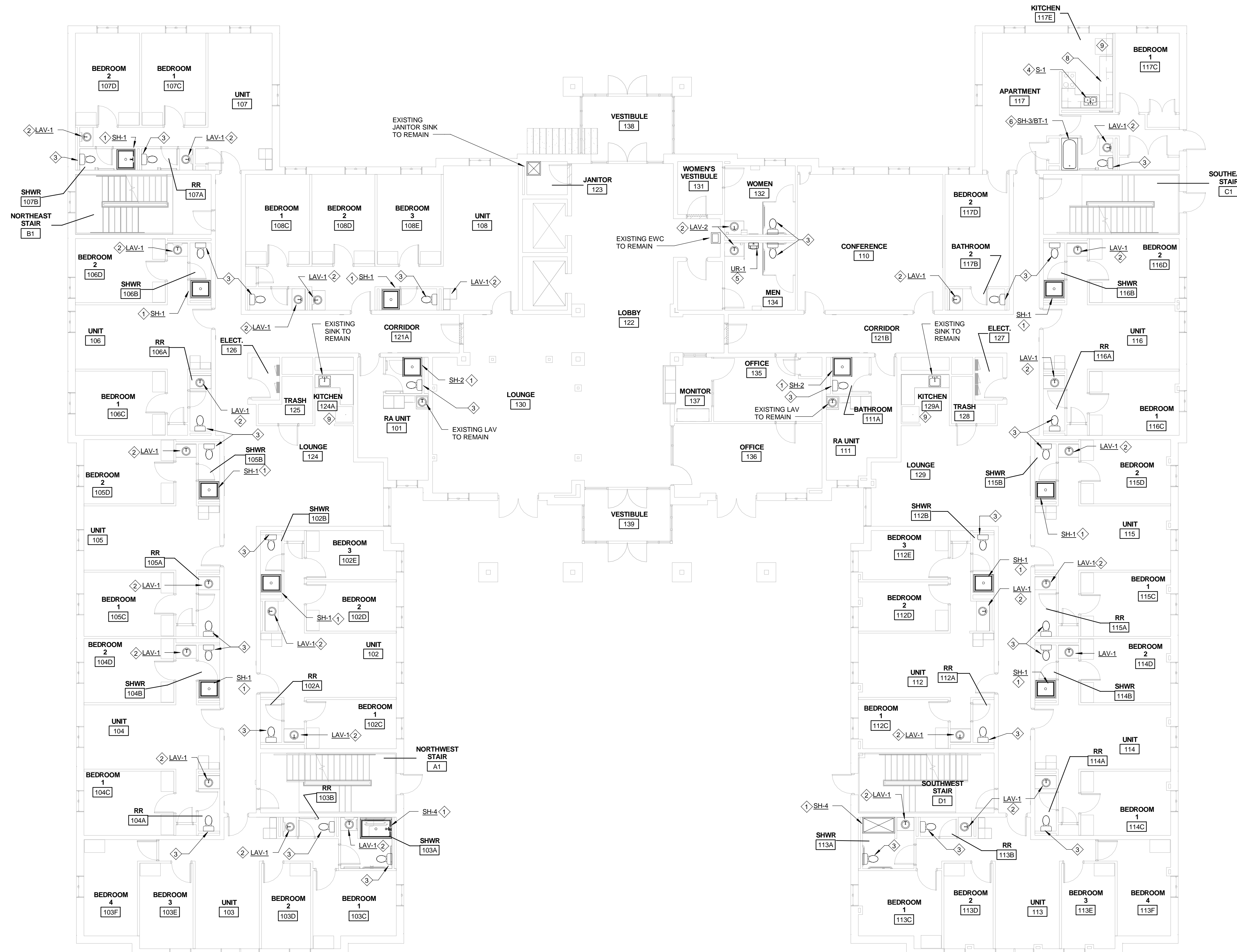


**NOTES**

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**KEY NOTES**

1. REVISE EXISTING CW AND HW AS REQUIRED FOR INSTALLING NEW SHOWER. CONNECT EXISTING SAN TO NEW SHOWER DRAIN. COORDINATE FINAL TRIM AND DRAIN LOCATIONS WITH SHOWER PROVIDED BY GENERAL CONTRACTOR.
2. CONNECT NEW LAV TO EXISTING HW, CW AND SANITARY AS REQUIRED.
3. RESET EXISTING FLOOR MOUNTED WATER CLOSET WITH NEW BOLTS AND GASKETS AND RE-CALK.
4. CONNECT NEW SINK TO EXISTING HW, CW AND SANITARY AS REQUIRED.
5. CONNECT NEW URINAL FLUSH VALVE TO EXISTING CW.
6. EXISTING BATH TUB TO REMAIN. REPLACE SHOWER HEAD, VALVE AND SPOUT WITH NEW AND CONNECT TO EXISTING PIPING AS REQUIRED.
7. CONNECT NEW WATER CLOSET TO EXISTING CW AND SANITARY AS REQUIRED.
8. REVISE UTILITIES TO NEW DISHWASHER LOCATION AS REQUIRED.
9. EXISTING REFRIGERATOR TO REMAIN.



**PLUMBING PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

SHEET REVISION		
REV #	DATE	DESCRIPTION

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DWG TITLE  
**PLUMBING  
PLAN - FIRST  
FLOOR**

SHEET NO.  
**P101**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
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Project #: 17018



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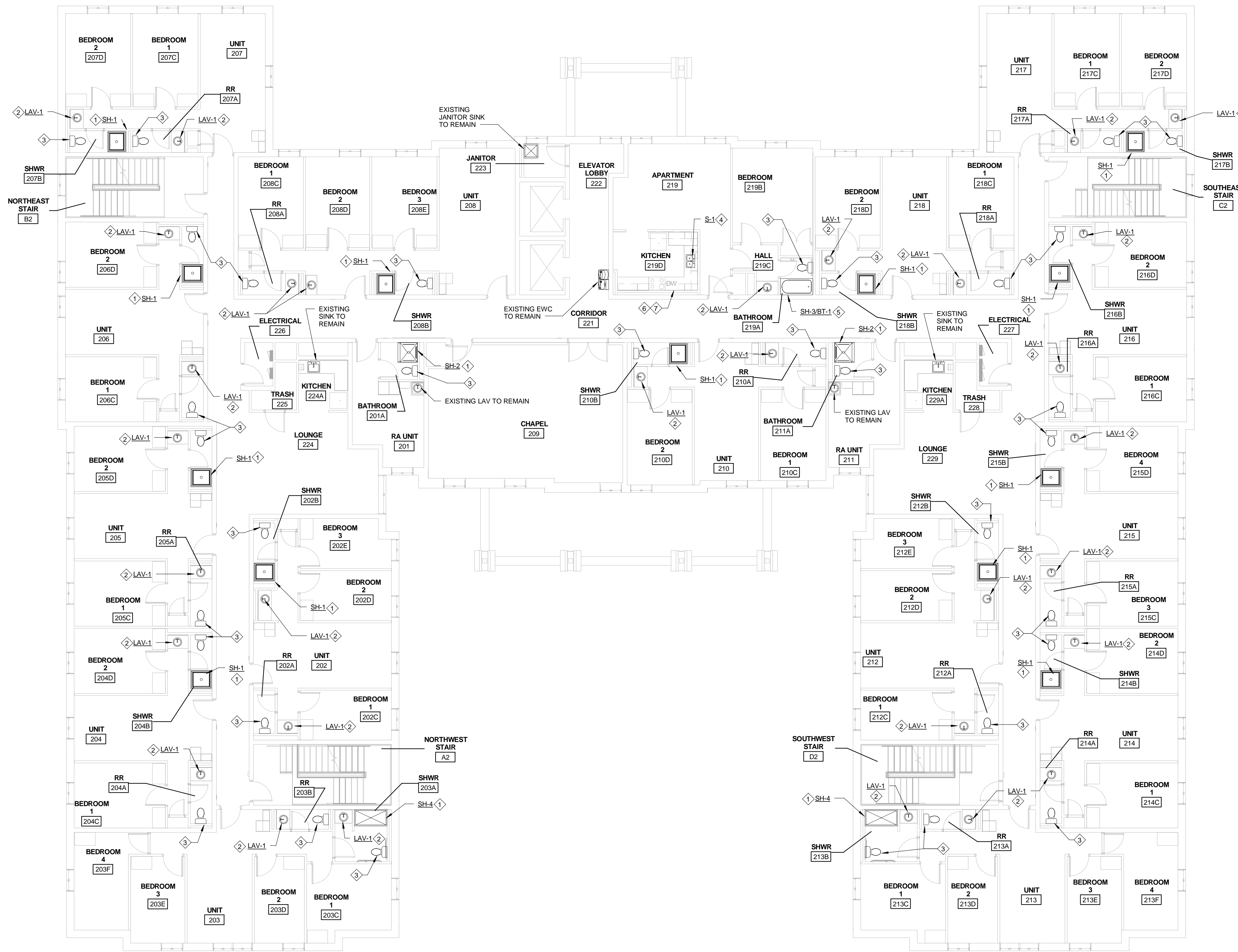


**NOTES**

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2. PROVIDE NEW ISOLATION VALVES ON HOT AND COLD WATER SUPPLY AT ALL NEW FAUCETS AS NOTED ON FIXTURE SCHEDULE.

**KEY NOTES**

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2. CONNECT NEW LAV TO EXISTING HW, CW AND SANITARY AS REQUIRED.
3. RESET EXISTING WATER CLOSET WITH NEW BOLTS AND GASKETS AND RE-CAULK.
4. CONNECT NEW SINK TO EXISTING HW, CW AND SANITARY AS REQUIRED.
5. EXISTING BATH TUB TO REMAIN. REPLACE SHOWER HEAD, VALVE AND SPOUT WITH NEW AND CONNECT TO EXISTING PIPING AS REQUIRED.
6. 1/2" HW DOWN IN WALL TO NEW DISHWASHER. PROVIDE SHUT OFF VALVE, SHOCK ABSORBER, AND DUAL CHECK BACKFLOW PREVENTER (SIMILAR TO WATTS NO. 7) IN LINE TO DISHWASHER.
7. ROUTE DISHWASHER DISCHARGE TO SANITARY AT S-1. CONNECT DISHWASHER DISCHARGE TO S-1 SANITARY BEFORE P-TRAP.



**PLUMBING PLAN - SECOND FLOOR**

SCALE: 1/8" = 1'-0"

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REV #	DATE	DESCRIPTION

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DATE	DESCRIPTION
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DWG TITLE
<b>PLUMBING PLAN - SECOND FLOOR</b>

DWG TITLE

SHEET NO.
<b>P102</b>

SHEET NO.

# Xavier University Buenger Hall Renovation Phase 2

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Project #: 17018



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## NOTES

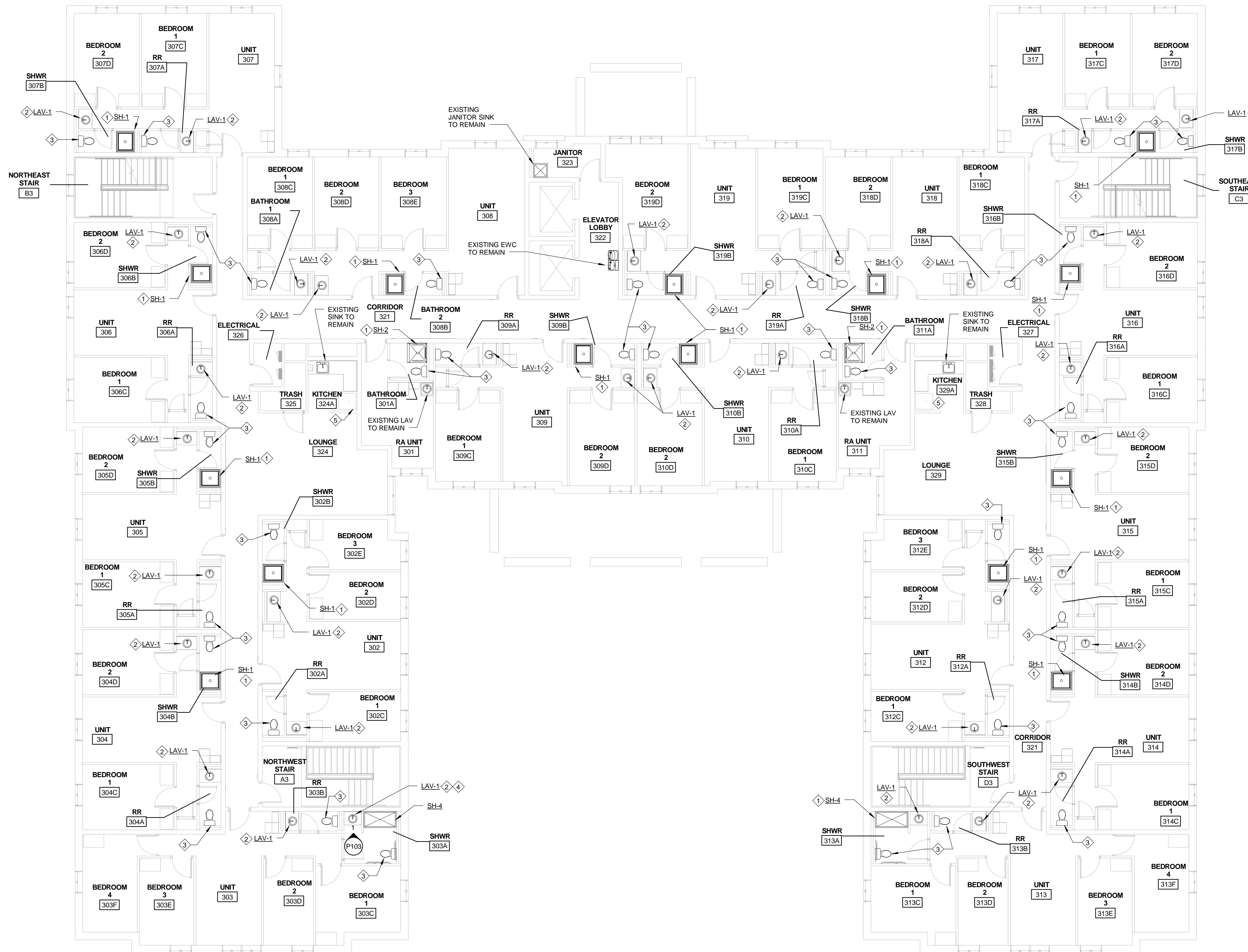
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- PROVIDE NEW ISOLATION VALVES ON HOT AND COLD WATER SUPPLY AT ALL NEW FAUCETS AS NOTED ON FIXTURE SCHEDULE.

## KEY NOTES

- REVISE EXISTING CW AND HW AS REQUIRED FOR INSTALLING NEW SHOWER. CONNECT EXISTING SAN TO NEW SHOWER DRAIN. CONNECT EXISTING SAN TO NEW SHOWER DRAIN. COORDINATE FINAL TRIM AND DRAIN LOCATIONS WITH SHOWER PROVIDED BY GENERAL CONTRACTOR.
- CONNECT NEW LAV TO EXISTING HW, CW AND SANITARY AS REQUIRED.
- RESET EXISTING FLOOR MOUNTED WATER CLOSET WITH NEW BOLTS AND GASKETS AND RE-CAULK.
- CONTRACTOR SHALL VERIFY AND REPAIR ANY EXISTING PIPING LEAKS AT THIS SINK. CONTRACTOR SHALL INCLUDE REMOVING EXISTING BLOCK WALL AND REPAIRING WALL TO MATCH EXISTING CONDITIONS AS REQUIRED TO INVESTIGATE ANY EXISTING PIPE LEAK. (REFER TO PHOTO 1)
- EXISTING REFRIGERATOR TO REMAIN.



1 PHOTO  
NOT TO SCALE



**PLUMBING PLAN - THIRD FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

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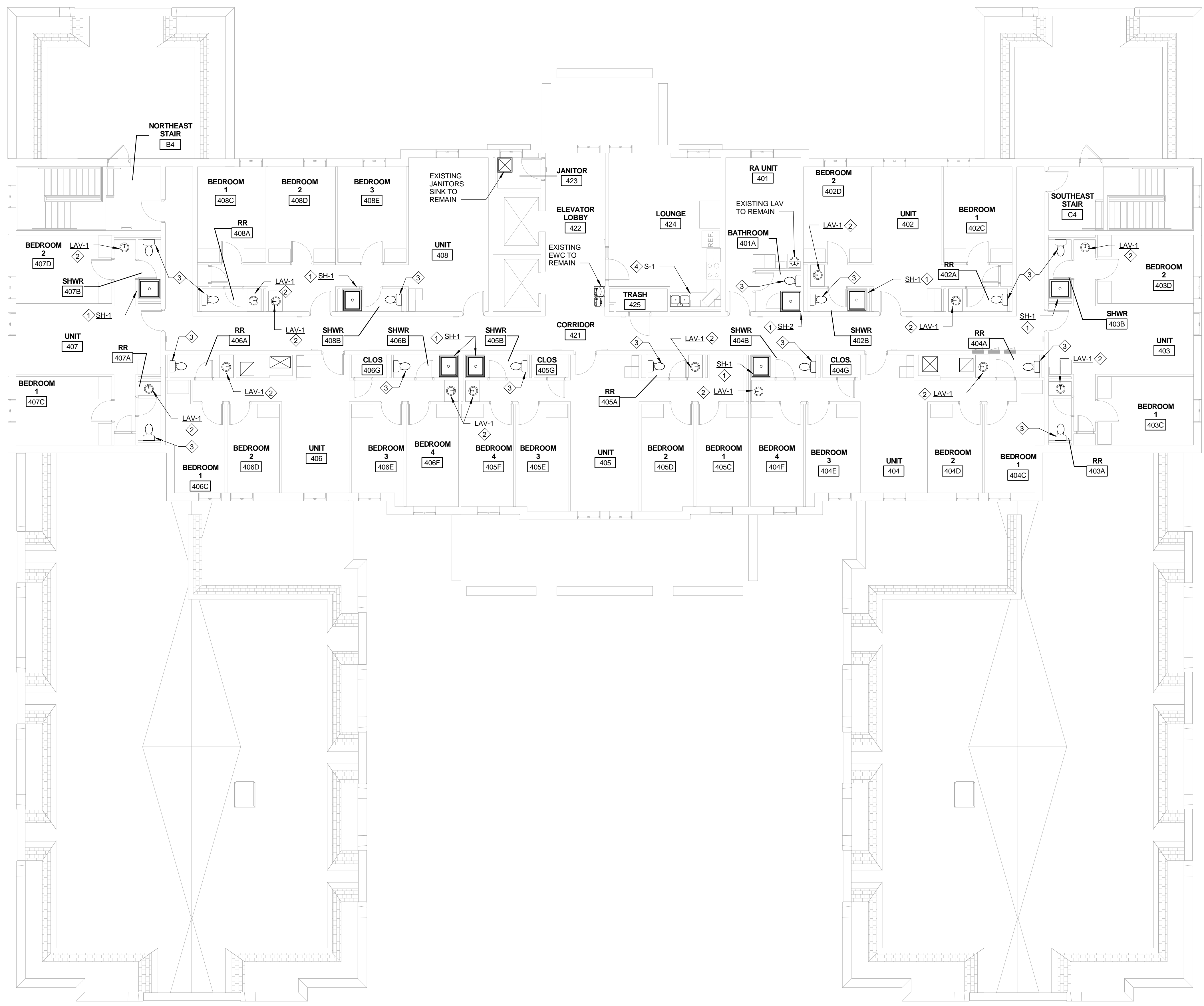
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DATE	DESCRIPTION
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DWG TITLE	
<b>PLUMBING PLAN - THIRD FLOOR</b>	

SHEET NO.	
<b>P103</b>	



**PLUMBING PLAN - FOURTH FLOOR**  
 SCALE: 1/8" = 1'-0"

- NOTES**
- CONTRACTOR SHALL FIELD VERIFY HAND OF EXISTING SHOWER HEAD AND VALVE AND COORDINATE WITH GENERAL CONTRACTOR FOR INSTALLING NEW SHOWER.
  - PROVIDE NEW ISOLATION VALVES ON HOT AND COLD WATER SUPPLY AT ALL NEW FAUCETS AS NOTED ON FIXTURE SCHEDULE.

- KEY NOTES**
- REVISE EXISTING CW AND HW AS REQUIRED FOR INSTALLING NEW SHOWER. CONNECT EXISTING SAN TO NEW SHOWER DRAIN. COORDINATE FINAL TRIM AND DRAIN LOCATIONS WITH SHOWER PROVIDED BY GENERAL CONTRACTOR.
  - CONNECT NEW LAV TO EXISTING HW, CW AND SANITARY AS REQUIRED.
  - RESET EXISTING FLOOR MOUNTED WATER CLOSET WITH NEW BOLTS AND GASKETS AND RE-CAULK.
  - CONNECT NEW SINK TO EXISTING HW, CW AND SANITARY AS REQUIRED.

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NOTES

DWG TITLE **PLUMBING  
 PLAN - FOURTH  
 FLOOR**

SHEET NO. **P104**

**Xavier University  
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Renovation  
Phase 2**

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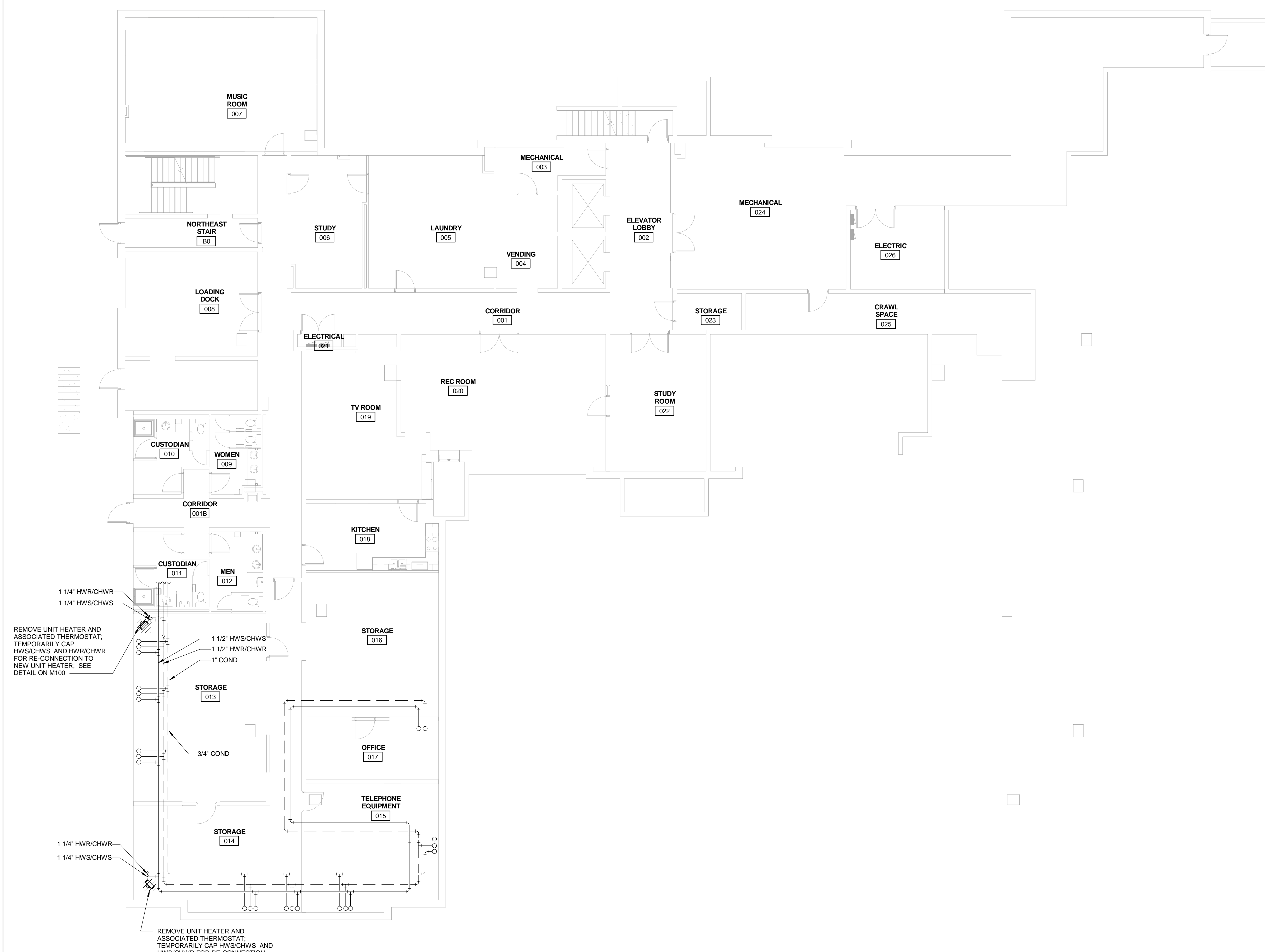


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**NOTES**

- NOTE THAT EXISTING WORK SHOWN ON PLANS IS FROM PREVIOUS ENGINEERING DOCUMENTS AND FIELD OBSERVATION. ACTUAL CONDITIONS MAY VARY, AND THIS CONTRACTOR MUST FIELD VERIFY EXISTING WORK (WHETHER INDICATED ON DRAWINGS OR NOT) AND MAKE MINOR ADJUSTMENTS NECESSARY TO COMPLETE NEW WORK. IF EXISTING CONDITIONS PROHIBIT NEW WORK, NOTIFY THE ENGINEER FOR REDIRECTION AS REQUIRED.
- REMOVE ALL PORTIONS OF WORK IDENTIFIED BY CROSS HATCHING UNLESS NOTED OTHERWISE.
- UNLESS DIRECTED OTHERWISE, EXISTING ITEMS THAT OBSTRUCT NEW WORK SHALL BE REVISED AS REQUIRED.
- PIPE INSULATION THAT IS DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL CONDITION.
- PROVIDE ISOLATION, DRAIN AND FILLING OF PIPING SYSTEMS AS REQUIRED TO PERFORM THE WORK OF DEMOLITION.
- REMOVE ALL POWER AND CONTROL WIRING AND DEVICES ASSOCIATED WITH EQUIPMENT BEING REMOVED.



**MECHANICAL DEMOLITION PLAN - LOWER LEVEL**  
SCALE: 1/8" = 1'-0"  
NORTH

SHEET REVISION		
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NOTES	

DWG TITLE  
**MECHANICAL  
DEMOLITION  
PLAN - LOWER  
LEVEL**

SHEET NO.  
**MD100**

# Xavier University Buenger Hall Renovation Phase 2

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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## NOTES

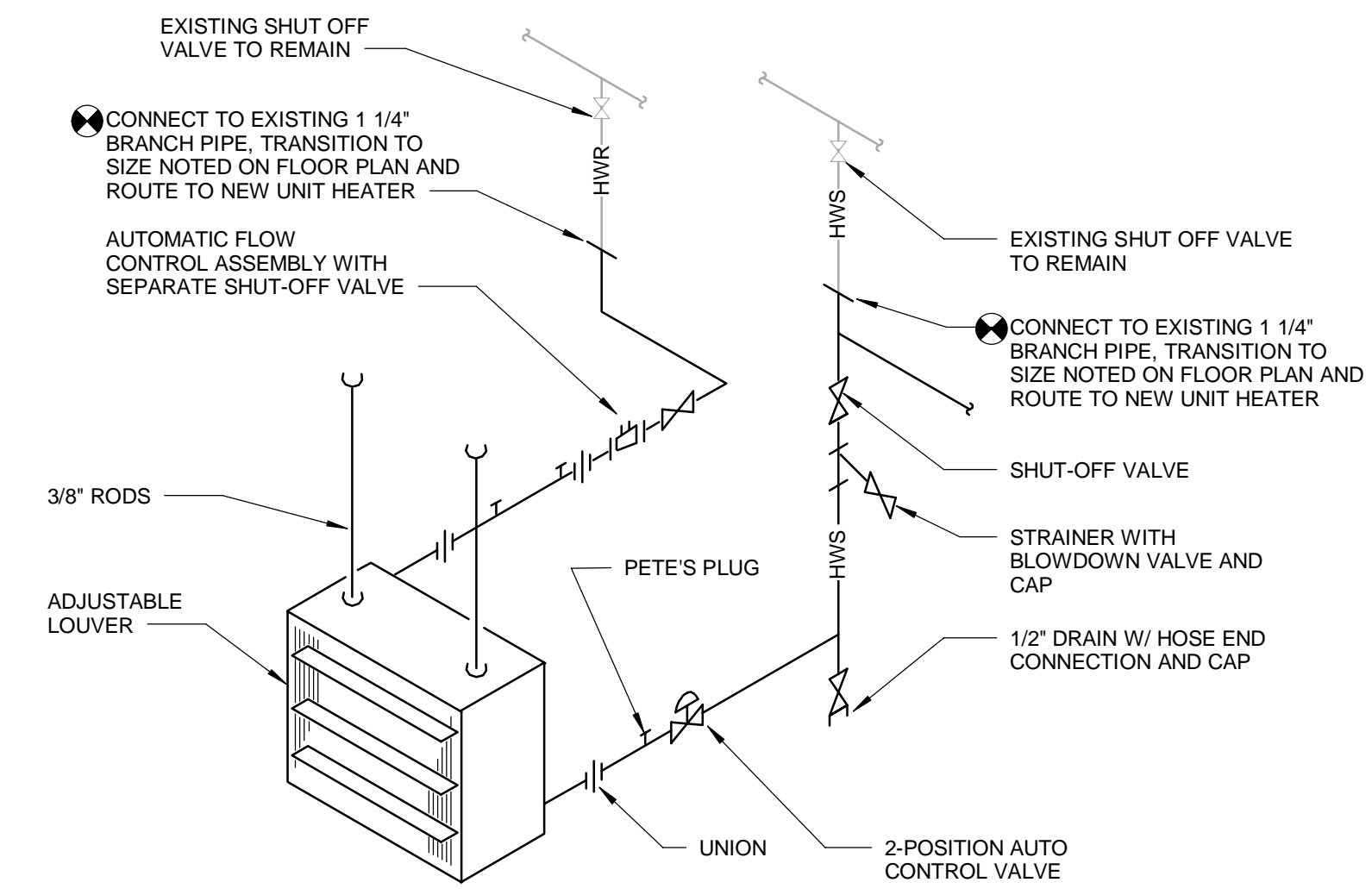
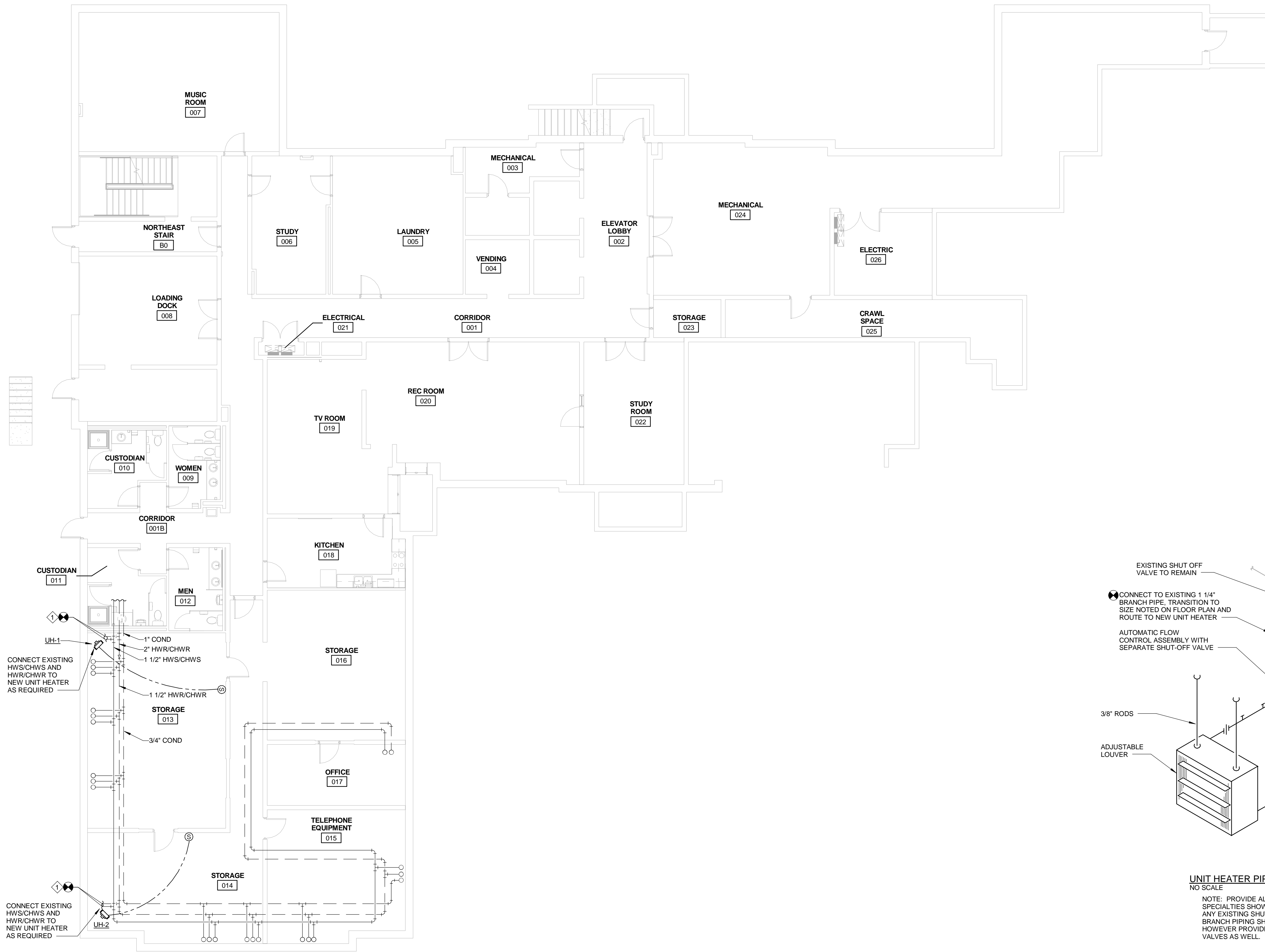
- THE INSTALLATION OF ALL PIPING SHALL BE CLOSELY COORDINATED WITH NEW SHEET METAL PLUMBING, ELECTRICAL, AND STRUCTURAL CONDITIONS. NOT ALL REQUIRED OFFSETS AND FITTINGS ARE INDICATED, BUT SHALL BE PROVIDED. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR CLEARANCES.
- THE HVAC CONTRACTOR IS TO SECURE AND VERIFY ALL MEASUREMENTS AND CONDITIONS AT JOB BEFORE PROCEEDING WITH FABRICATION OF PIPING, ETC.
- THE HVAC CONTRACTOR IS TO PROVIDE ALL ADDITIONAL STEEL, HANGER MATERIALS, RODS AND CLAMPS AS REQUIRED FOR COORDINATION WITH WORK OF OTHER TRADES
- DUCT, PIPING AND EQUIPMENT SHOWN LIGHTLY IS EXISTING TO REMAIN.
- PIPE ROUTING AS INDICATED IS SCHEMATIC IN CONCEPT. FIELD LOCATE EXACT TIE-IN POINTS TO EXISTING PIPING. FINAL ROUTING SHALL BE COORDINATED WITH SHEET METAL, ELECTRICAL, AND STRUCTURAL SYSTEMS. ALL NECESSARY OFFSETS SHALL BE PROVIDED. COORDINATE TIME OF EXISTING PIPING REROUTING WITH OWNER TO MINIMIZE DOWNTIME.
- PROVIDE ISOLATION, DRAIN AND FILLING OF EXISTING PIPING SYSTEMS AS REQUIRED TO PERFORM THE WORK.
- WHERE NEW CONNECTIONS TO EXISTING PIPE ARE INDICATED, SYSTEM SERVICE INTERRUPTION IS TO BE MINIMIZED AND COORDINATED WITH OWNER. TIE-IN METHODS TO INCLUDE HOT TAP AS REQUIRED.

## KEY NOTES

- CONNECT TO EXISTING 1 1/4" HWS AND HWR PIPING. TRANSITION TO 1" AND ROUTE TO NEW UNIT HEATER. REFER TO PIPING DETAIL ON THIS SHEET. INSULATE NEW PIPING WITH 1 1/2" THICK ASJ FIBERGLASS INSULATION.

## DDC CONTROLS AND CONTROL SEQUENCES

- EXTEND EXISTING SIEMENS DDC CONTROLS AS REQUIRED FOR BELOW SEQUENCE. PROVIDE NEW PANELS, SENSORS, ETC AS REQUIRED TO EXTEND DDC CONTROLS TO NEW UNIT HEATERS. ALL WIRING, CONDUIT, ETC TO MEET DIVISION 26 SPECIFICATIONS.
- UPDATE FRONT END GRAPHICS FOR NEW UNIT HEATERS.  
UNIT HEATER CONTROL SEQUENCE:
- PROVIDE WALL MOUNTED TEMPERATURE SENSORS WHERE SHOWN ON DRAWINGS. SENSORS SHALL BE WIRED TO "START" AND "STOP" THE FAN MOTORS THROUGH DDC CONTROL TO MAINTAIN SPACE TEMPERATURE. ALL 120V POWER WIRING SHALL BE BY THE ELECTRICAL CONTRACTOR. ALL CONTROL WIRING SHALL BE BY THE TEMPERATURE CONTROL CONTRACTOR.
- THE 2-POSITION ON-OFF CONTROL VALVE SHALL BE CLOSED THROUGH THE DDC CONTROL WHENEVER THE 2-PIPE SYSTEM IS IN COOLING MODE AND WHEN THE OUTSIDE AIR TEMPERATURE EXCEEDS 50 DEGREES F (ADJUSTABLE). THE VALVE SHALL BE FULL OPEN AT ALL OTHER TIMES WHEN THE 2-PIPE SYSTEM IS IN HEATING MODE. WIRING AND CONTROL OF THIS VALVE IS BY THE TEMPERATURE CONTROL CONTRACTOR.
- CONTRACTOR TO VERIFY SPACE SET POINTS WITH THE UNIVERSITY.



**UNIT HEATER PIPING DETAIL**  
NO SCALE

NOTE: PROVIDE ALL NEW VALVES AND SPECIALTIES SHOWN IN THIS DETAIL. ANY EXISTING SHUT OFF VALVES ON BRANCH PIPING SHALL REMAIN. HOWEVER PROVIDE NEW SHUT OFF VALVES AS WELL.

## UNIT AND CABINET HEATER SCHEDULE

ID TAG	LOCATION	MFG	MODEL	CFM	MBH	GPM	EWT (F)	LWT (F)	WPD (FT)	MOTOR HP	VOLTS	PHASE	AMPS (FLA)	NOTES
UH-1	STORAGE 013	VULCAN	HV136A	750	16.5	2.1	140	110	1.2	0.05	115	1	1.4	1,2,3,4,5
UH-2	STORAGE 014	VULCAN	HV136A	750	16.5	2.1	140	110	1.2	0.05	115	1	1.4	1,2,3,4,5

- NOTES**
- 4-WAY ADJUSTABLE LOUVER
  - HANG UNIT FROM STRUCTURE WITH VIBRATION HANGERS
  - PROVIDE LINE VOLTAGE THERMOSTAT TO CONTROL UNIT HEATER
  - PROVIDE FAN GUARD
  - PROVIDE SINGLE PHASE MOTOR STARTER

**MECHANICAL PLAN - LOWER LEVEL**  
SCALE: 1/8" = 1'-0"  
NORTH

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DWG TITLE

**MECHANICAL  
PLAN - LOWER  
LEVEL**

**M100**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

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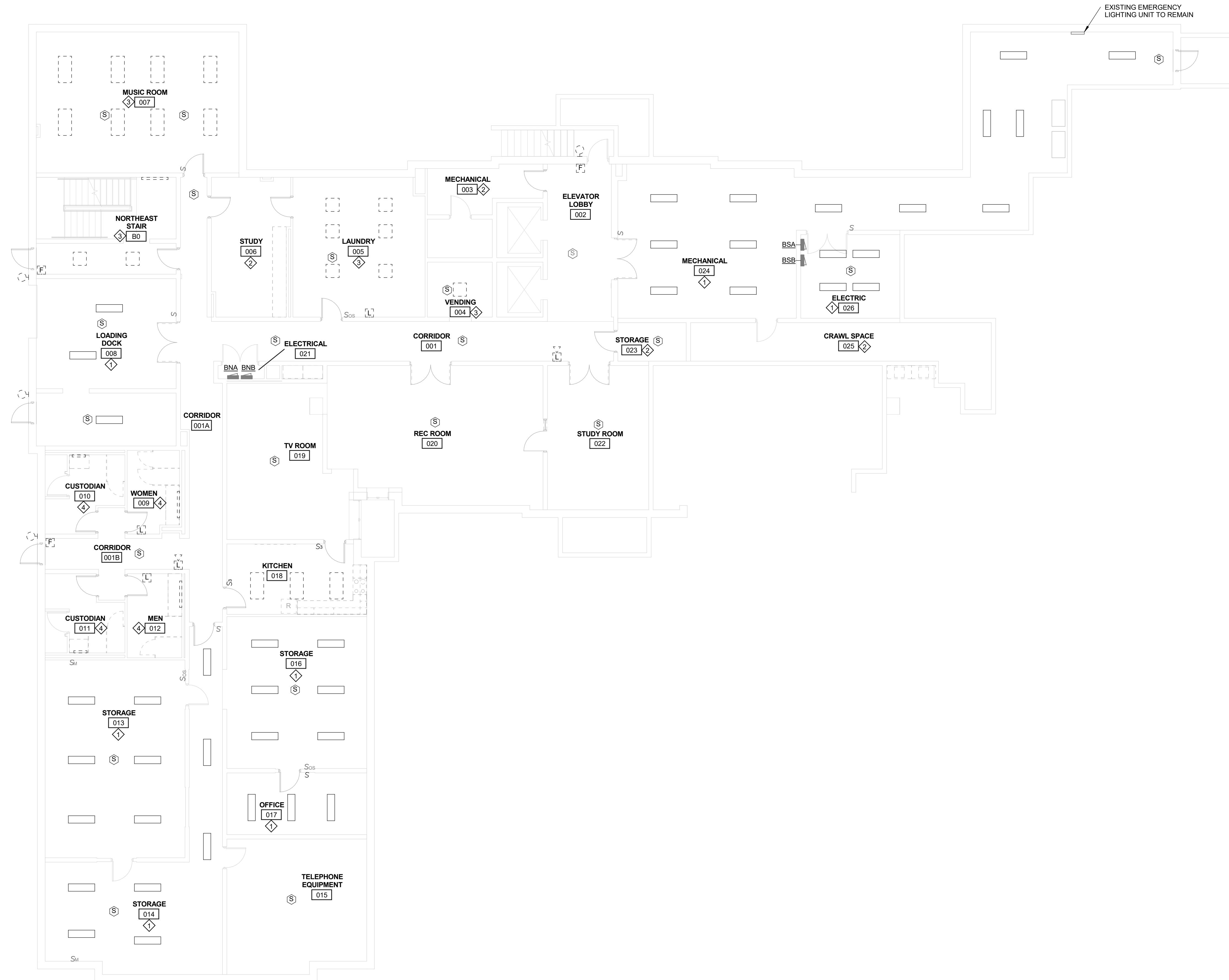


**NOTES**

- RE-USE EXISTING CONDUIT AND WIRING WHERE POSSIBLE. REMOVE UNUSED WIRING AND CONDUIT BACK TO SOURCE.
- IN AREAS OF RENOVATION, REMOVE ALL BLANK COVERPLATES, UNUSED BACK BOXES, AND ASSOCIATED CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX ABOVE ACCESSIBLE CEILING. COORDINATE WALL PATCHING WITH G.C.
- REMOVE ALL EXISTING LIGHTING AND LIGHT SWITCHES SHOWN ON DRAWINGS, UNO. REUSE CONDUIT AND WIRING WHERE POSSIBLE.
- EXISTING WIRELESS ACCESS POINTS ARE TO REMAIN. DEVICES ARE NOT SHOWN FOR CLARITY.
- FOR ALL DEVICES AND EQUIPMENT TO REMAIN, PROTECT FROM DAMAGE DURING CONSTRUCTION.
- CEILING MOUNTED AND WALL MOUNTED FIRE ALARM DEVICES SHOWN ON DRAWINGS ARE TO BE REMOVED UNO. REUSE WIRING, CONDUIT, AND BACK BOXES WHEREVER POSSIBLE. PROTECT EXISTING DEVICES TO REMAIN FROM DAMAGE DURING CONSTRUCTION AND MAINTAIN FIRE ALARM SYSTEM.
- DASHED LINETYPE INDICATES EXISTING LIGHT FIXTURE TO BE REMOVED.

**KEY NOTES**

- BASE BID: LIGHT FIXTURES AND SWITCHING IN THIS SPACE ARE EXISTING TO REMAIN. ALTERNATE: REMOVE LIGHT FIXTURES IN THIS SPACE. SWITCHING TO REMAIN.
- NO WORK IN THIS AREA.
- REMOVE LIGHT FIXTURES IN THIS SPACE.
- REMOVE WALL MOUNTED LIGHT FIXTURES IN THIS SPACE.



**ELECTRICAL DEMOLITION PLAN - LOWER LEVEL**

SCALE: 1/8" = 1'-0"

SHEET REVISION		
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**DWG TITLE**  
**ELECTRICAL  
DEMOLITION  
PLAN - LOWER  
LEVEL**

**SHEET NO.**  
**ED100**

**Xavier University  
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**ELECTRICAL  
DEMOLITION  
PLAN - FIRST  
FLOOR**

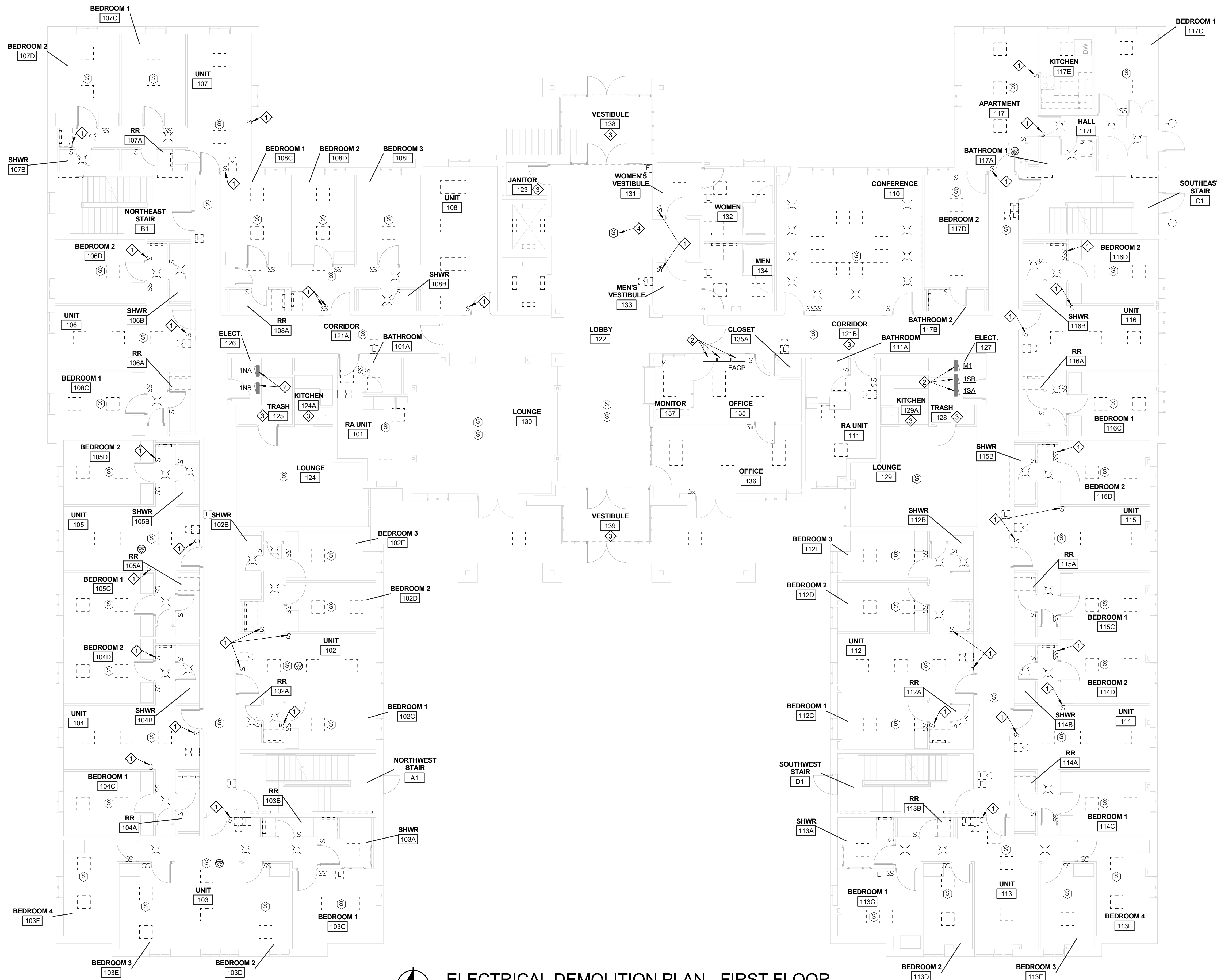
**ED101**

**NOTES**

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- CEILING MOUNTED AND WALL MOUNTED FIRE ALARM DEVICES SHOWN ON DRAWINGS ARE TO BE REMOVED UNO. REUSE WIRING, CONDUIT, AND BACK BOXES WHEREVER POSSIBLE. PROTECT EXISTING DEVICES TO REMAIN FROM DAMAGE DURING CONSTRUCTION AND MAINTAIN FIRE ALARM SYSTEM.
- DASHED LINETYPE INDICATES EXISTING LIGHT FIXTURE TO BE REMOVED.

**KEY NOTES**

- EXISTING LIGHT SWITCH TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- NO WORK IN THIS AREA.
- EXISTING FIRE ALARM DEVICE TO REMAIN.



**ELECTRICAL DEMOLITION PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH



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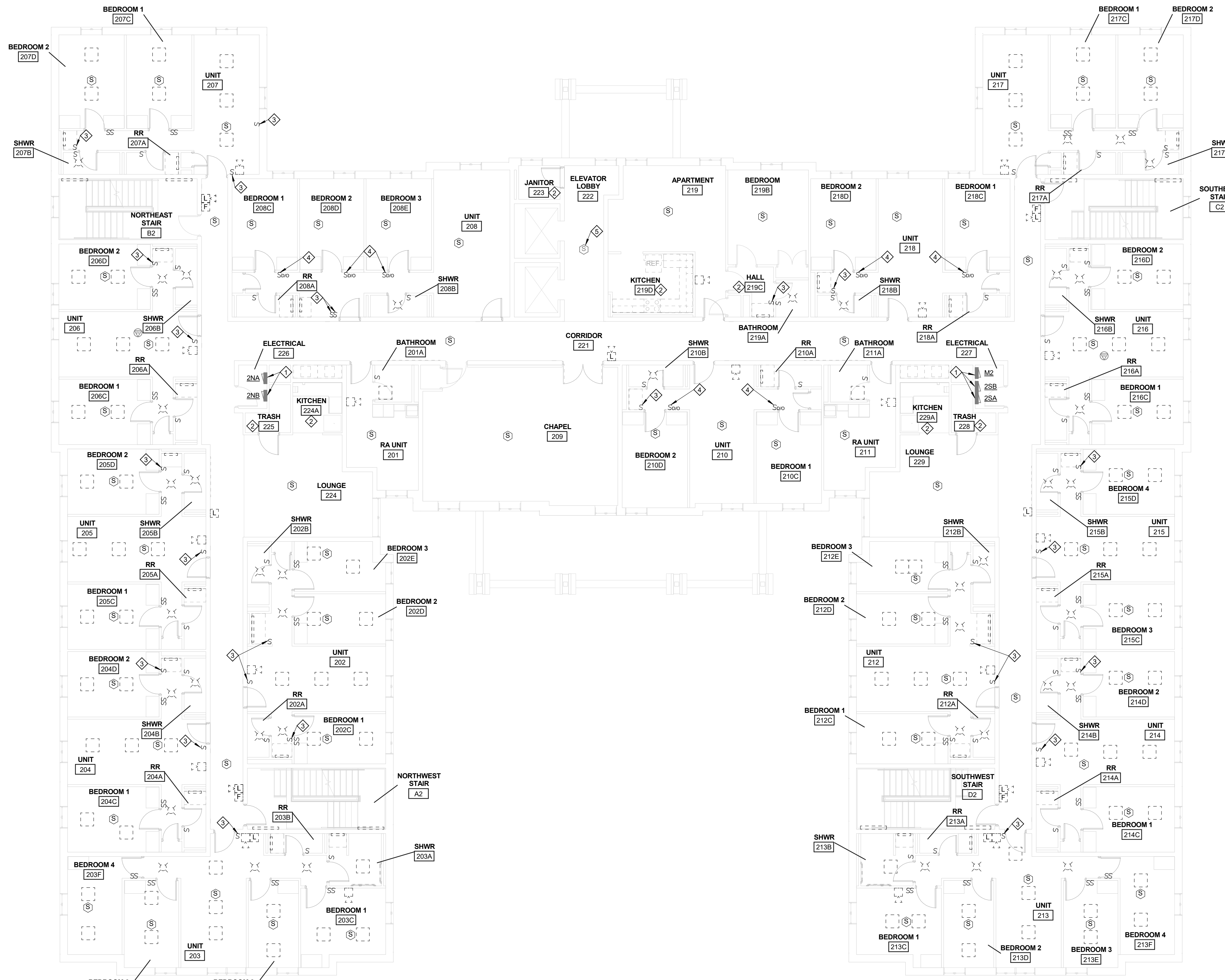


**NOTES**

- RE-USE EXISTING CONDUIT AND WIRING WHERE POSSIBLE. REMOVE UNUSED WIRING AND CONDUIT BACK TO SOURCE.
- IN AREAS OF RENOVATION, REMOVE ALL BLANK COVERPLATES, UNUSED BACK BOXES, AND ASSOCIATED CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX ABOVE ACCESSIBLE CEILING. COORDINATE WALL PATCHING WITH G.C.
- REMOVE ALL EXISTING LIGHTING AND LIGHT SWITCHES SHOWN ON DRAWINGS, UNO. REUSE CONDUIT AND WIRING WHERE POSSIBLE.
- EXISTING WIRELESS ACCESS POINTS ARE TO REMAIN.
- FOR ALL DEVICES AND EQUIPMENT TO REMAIN, PROTECT FROM DAMAGE DURING CONSTRUCTION.
- CEILING MOUNTED AND WALL MOUNTED FIRE ALARM DEVICES SHOWN ON DRAWINGS ARE TO BE REMOVED UNO. REUSE WIRING, CONDUIT, AND BACK BOXES WHEREVER POSSIBLE. PROTECT EXISTING DEVICES TO REMAIN FROM DAMAGE DURING CONSTRUCTION AND MAINTAIN FIRE ALARM SYSTEM.
- DASHED LINETYPE INDICATES EXISTING LIGHT FIXTURE TO BE REMOVED.

**KEY NOTES**

- EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- NO WORK IN THIS AREA.
- EXISTING LIGHT SWITCH TO REMAIN.
- EXISTING DIMMING/OCCUPANCY SENSING SWITCH TO BE REMOVED AND SET ASIDE FOR USE IN BEDROOM LOCATIONS AS SHOWN ON NEW WORK FLOOR PLANS. ADJUST DEVICE AS REQUIRED FOR FUNCTIONAL OCCUPANCY SENSING. REPLACE THE SWITCH IN THIS LOCATION AS SHOWN ON NEW WORK FLOOR PLANS. UTILIZE EXISTING BACK BOX AND COVERPLATE WHEREVER PRACTICAL. TYPICAL OF (25) DEVICES.
- EXISTING FIRE ALARM DEVICE TO REMAIN.



**ELECTRICAL DEMOLITION PLAN - SECOND FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

SHEET REVISION		
REV #	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

NOTES

**DWG TITLE**  
**ELECTRICAL  
DEMOLITION  
PLAN - SECOND  
FLOOR**

**SHEET NO.**  
**ED102**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
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CONSULTANTS ARCHITECT

ARCHITECTS STAMP

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REVISION

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REV #	DATE	DESCRIPTION

ISSUE

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

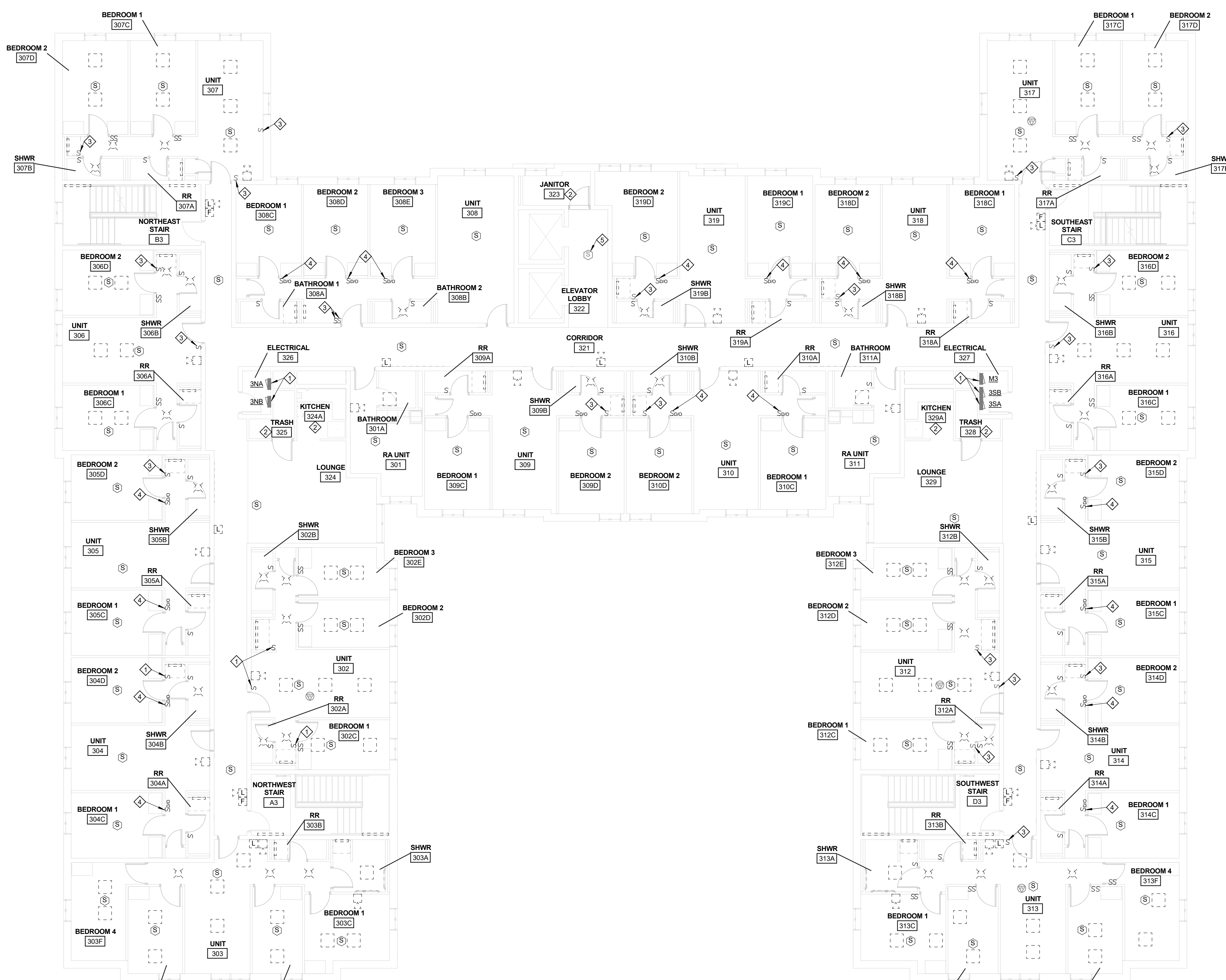
NOTES

DWG TITLE

**ELECTRICAL  
DEMOLITION  
PLAN - THIRD  
FLOOR**

SHEET NO.

**ED103**



**ELECTRICAL DEMOLITION PLAN - THIRD FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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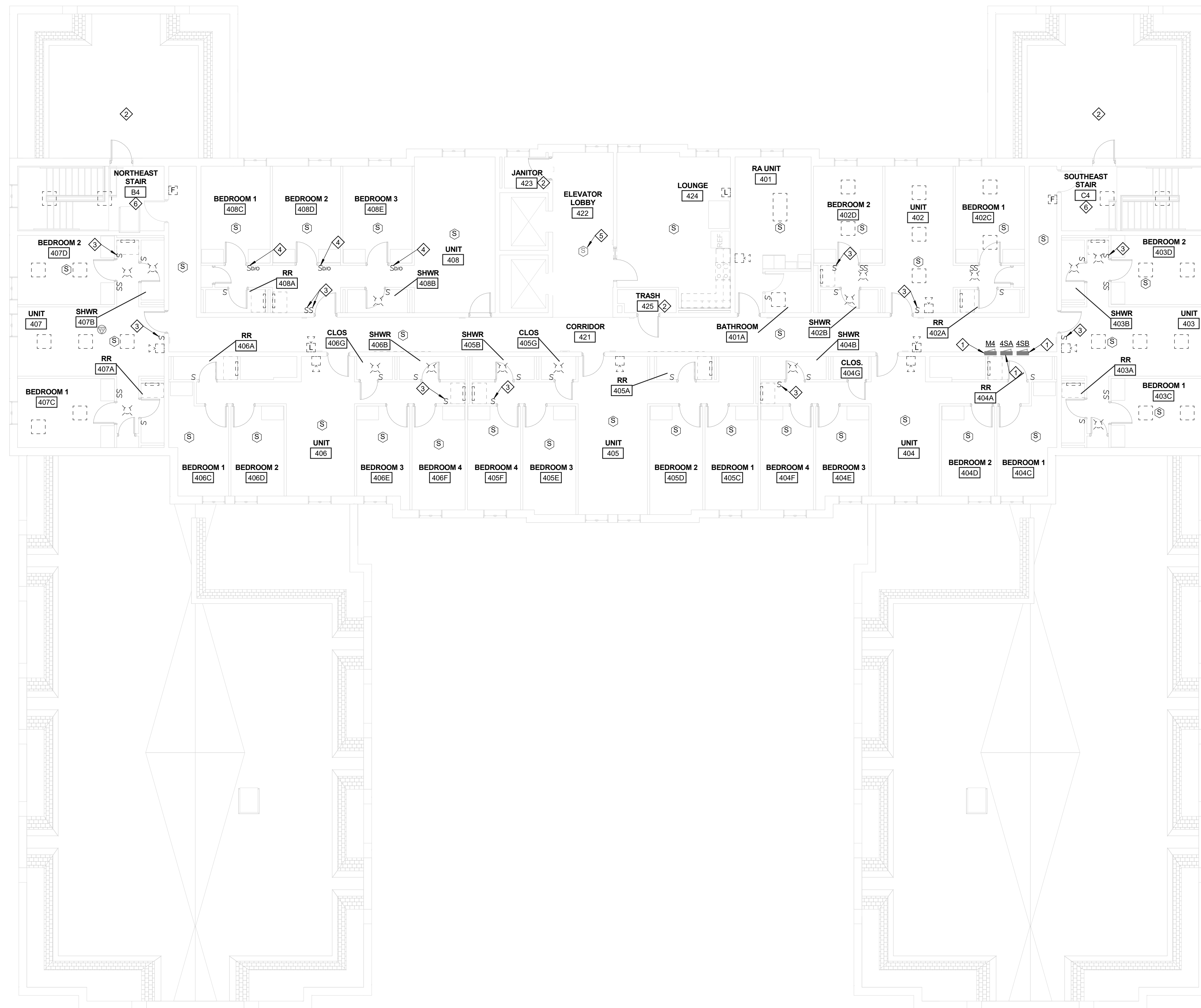
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**KEY NOTES**

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- EXISTING FIRE ALARM DEVICE TO REMAIN.
- EXISTING EMERGENCY LIGHTING UNIT IN THIS SPACE TO REMAIN.



**ELECTRICAL DEMOLITION PLAN - FOURTH FLOOR**

SCALE: 1/8" = 1'-0"

NORTH

CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

**PLUMBING, MECHANICAL & ELECTRICAL ENGINEERS:**



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REVISION

SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

DWG TITLE

**ELECTRICAL  
DEMOLITION  
PLAN - FOURTH  
FLOOR**

SHEET NO.

**ED104**

# Xavier University Buenger Hall Renovation Phase 2

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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REVISION

SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE

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NOTES

DWG TITLE

**LEGENDS AND  
GENERAL  
NOTES**

SHEET NO.

**E000**

## GENERAL ABBREVIATIONS

A	AMPERES	KO	KNOCKOUT
AC	ALTERNATING CURRENT	KVA	KILOVOLT AMPERE
ACP	ACOUSTICAL CEILING PANEL	KW	KILOWATT
ADA	AMERICANS WITH DISABILITIES ACT	KWHR	KILOWATT-HOUR
AFF	ABOVE FINISHED FLOOR	LED	LIGHT-EMITTING DIODE
AHJ	AUTHORITY HAVING JURISDICTION	LS	LIMIT SWITCH
AIC	AMPERE-INTERRUPTING CURRENT	LT	LIGHT
AL	ALUMINUM	LTFCM	LIQUID-TIGHT FLEXIBLE METAL CONDUIT
AMP	AMPERES	LTG	LIGHTING
ATM	AUTOMATIC TELLER MACHINE	LV	LOW VOLTAGE
ATS	AUTOMATIC TRANSFER SWITCH	M	METER
BRKR	BREAKER	MANUF	MANUFACTURER
C	CONDUIT, CELSIUS	MCA	MINIMUM CIRCUIT AMPACITY
CB	CIRCUIT BREAKER	MCB	MAIN CIRCUIT BREAKER
CATV	CABLE TELEVISION	MCC	MOTOR CONTROL CENTER
CIP	CAST-IN-PLACE	MCP	MOTOR CIRCUIT PROTECTOR
CJ	CONTROL JOINT	MH	MANHOLE
CKT	CIRCUIT	MLO	MAIN LUGS ONLY
CLG	CEILING	MT	MOUNT
CM	CONSTRUCTION MANAGER	MTD	MOUNTED
CMU	CONCRETE MASONRY UNIT	MV	MEDIUM VOLTAGE
COAX	COAXIAL	N, NEUT	NEUTRAL
CONC	CONCRETE	NC	NORMALLY CLOSED
CP	CONTROL PANEL	NL	NIGHT LIGHT
CT	CURRENT TRANSFORMER	NO	NORMALLY OPEN
CU	COPPER	NOM	NOMINAL
Cx	COMMISSIONING	NTS	NOT TO SCALE
CxA	COMMISSIONING AGENT	OD	OUTSIDE DIAMETER
BMS	BUILDING MANAGEMENT SYSTEM	OH	OVERHEAD
DB	DECIBEL	OHD	OVERHEAD DOOR
DC	DIRECT CURRENT	OL	OVERLOAD
DEM	DEMOLISH	PA	PUBLIC ADDRESS
DEMO	DEMOLITION	PB	PULL BOX; PUSH BUTTON
DF	DRINKING FOUNTAIN	PFC	POWER FACTOR CORRECTION
DISC	DISCONNECT	PH	PHASE
DPDT	DOUBLE POLE DOUBLE THROW	PNL	PANELBOARD
DPST	DOUBLE POLE SINGLE THROW	PT	POTENTIAL TRANSFORMER
EC	ELECTRICAL CONTRACTOR	PTZ	PAN-TILT-ZOOM
EJ	EXPANSION JOINT	PWR	POWER
ELEC	ELECTRICAL	RCP	REFLECTED CEILING PLAN
ELEV	ELEVATOR; ELEVATION	REBAR	REINFORCING BAR
EM	EMERGENCY	RECEPT	RECEPTACLE
EMT	ELECTRICAL METALLIC TUBING	RM	ROOM
ENCL	ENCLOSURE	RNMC	RIGID NON-METALLIC CONDUIT
ETR	EXISTING TO REMAIN	ROW	RIGHT-OF-WAY
EWC	ELECTRIC WATER COOLER	RMC	RIGID METAL CONDUIT
EWH	ELECTRIC WATER HEATER	SEC	SECONDARY
EXIST	EXISTING	SPDT	SINGLE POLE DOUBLE THROW
F	FUSE; FAHRENHEIT	SPECS	SPECIFICATIONS
FA	FIRE ALARM	SPST	SINGLE POLE SINGLE THROW
FAAP	FIRE ALARM ANNUNCIATOR PANEL	SQ	SQUARE
FACP	FIRE ALARM CONTROL PANEL	SS	STAINLESS STEEL
FF&E	FIXTS, FURNISHINGS & EQUIPMENT	SV	SOLENOID VALVE
FIXT	FIXTURE	SWBD	SWITCHBOARD
FLA	FULL LOAD AMPERES	SWGR	SWITCHGEAR
FM	FACTORY MUTUAL	TCC	TEMPERATURE CONTROL CONTRACTOR
FMC	FLEXIBLE METAL CONDUIT	TCP	TEMPERATURE CONTROL PANEL
FO	FIBER OPTIC	TRANS	TRANSFORMER
FRT	FIRE RETARDANT	TS	TIME SWITCH
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GEN	GENERATOR	UL	UNDERWRITERS' LABORATORIES
GFCI	GROUND FAULT CKT INTERRUPTER	UNO	UNLESS NOTED OTHERWISE
GFI	GROUND FAULT INTERRUPTER	UPS	UNINTERRUPTIBLE POWER SUPPLY
GND	GROUND	V	VOLTS
GYP BD	GYP SUM BOARD	VA	VOLT-AMPERE
HH	HAND HOLE	VAC	VOLTS-ALTERNATING CURRENT
HOA	HAND-OFF-AUTO	VDC	VOLTS-DIRECT CURRENT
HP	HORSE POWER	VFD	VARIABLE FREQUENCY DRIVE
HV	HIGH VOLTAGE	W	WATTS
ID	INSIDE DIAMETER	WH	WATER HEATER
JB	JUNCTION BOX	WP	WEATHERPROOF

## GENERAL NOTES

- SYMBOLS AND GENERAL DESCRIPTIONS IN SYMBOL LEGENDS ARE INDICATED FOR GENERAL REFERENCE ONLY. NOT ALL SYMBOLS ARE USED ON THIS PROJECT. SEE SCHEDULES, SPECIFICATIONS AND PLANS FOR ADDITIONAL INFORMATION INCLUDING MOUNTING HEIGHTS.
- THESE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE ELECTRICAL DESIGN INTENT. PROVIDE ALL WORK AND MATERIALS THAT ARE REQUIRED FOR COMPLETE AND FUNCTIONAL ELECTRICAL SYSTEMS THAT FULLY MEET THE ELECTRICAL DESIGN INTENT. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST VERSION OF THE NEC AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION. SEE SPECIFICATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS AND ITEMS THAT MAY BE REQUIRED ABOVE AND BEYOND THE MINIMUM REQUIREMENTS THAT ARE OUTLINED IN THE NATIONAL ELECTRICAL CODE (NEC).
- THOROUGHLY AND CAREFULLY REVIEW ALL DRAWINGS, SPECIFICATIONS AND WORK SCOPES IN CONTRACT DOCUMENTS PRIOR TO BIDS AND CONSTRUCTION. WHERE THERE ARE CONFLICTS AMONG THE DRAWINGS, SPECIFICATIONS AND WORK SCOPES, THE MORE STRINGENT OR GREATER QUANTITY REQUIREMENTS SHALL APPLY.
- ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED.
- SEE INDIVIDUAL SPECIFICATION SECTIONS FOR SPECIFIC REQUIREMENTS RELATED TO TESTING, MANUFACTURER STARTUP, TRAINING, ETC. ALL APPLICABLE TESTING AND MANUFACTURER STARTUP REPORTS SHALL BE SUBMITTED AND APPROVED PRIOR TO THE DEVELOPMENT OF ELECTRICAL PUNCH LISTS.
- ALL CONDUCTORS, INCLUDING THE GROUNDED CONDUCTORS (NEUTRALS), SHALL BE LABELED AT ALL ENDS AND JOINTS, WITH THE CORRESPONDING PANELBOARD NAME AND CIRCUIT NUMBER OR OTHERWISE IDENTIFIED TO CORRESPOND WITH THE ASSOCIATED EQUIPMENT MANUFACTURER'S IDENTIFICATION SYSTEM.
- AT A MINIMUM, PROVIDE 1#12, 1#12N, 1#12G FOR 20A BRANCH CIRCUITING, UNO. MINIMUM CONDUIT SIZE SHALL BE 3/4". UNO. NO MORE THAN NINE CURRENT CARRYING CONDUCTORS, SHALL BE ALLOWED IN A RACEWAY, UNO. EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED IN ACCORDANCE WITH THE NEC AND MAY BE SHARED. ALL GROUNDED CONDUCTORS (NEUTRALS) SHALL BE TREATED AS CURRENT CARRYING CONDUCTORS.
- PROVIDE A DEDICATED GROUNDED CONDUCTOR (NEUTRAL) FOR EACH BRANCH CIRCUIT. SHARED NEUTRALS ARE NOT ALLOWED.
- INSTALL GREEN, INSULATED, COPPER EQUIPMENT GROUNDING CONDUCTORS IN ALL RACEWAYS INCLUDING ALL FLEXIBLE METAL CONDUITS AND NON-METALLIC RACEWAYS. GREEN INSULATED, EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSTALLED WITH ALL FEEDERS AND BRANCH CIRCUITS.
- PROVIDE FIRE STOPPING FOR ALL CONDUIT AND OTHER ELECTRICAL EQUIPMENT PENETRATIONS THROUGH FLOORS, WALLS AND CEILINGS TO MAINTAIN FIRE RATINGS. SEE ARCHITECTURAL FOR THE SPECIFIED FIRE RATINGS OF FLOORS, WALLS, AND CEILINGS.
- LIMIT VOLTAGE DROP IN CONDUCTORS TO 2% FOR FEEDERS AND 3% FOR BRANCH CIRCUITS, ASSUMING FULL LOAD CONDITIONS. VOLTAGE DROP SHALL NOT EXCEED 5% FROM THE ELECTRICAL SERVICE TO THE FURTHEST ELECTRICAL DEVICE.
- PROVIDE THERMAL SEALS IN ALL CONDUITS THAT RUN FROM CONDITIONED SPACES TO UNCONDITIONED SPACES.
- ALL WIRING FOR INTERIOR LED LUMINAIRES THAT ARE REQUIRED TO BE DIMMED SHALL INCLUDE (2) #18 AWG WIRES FROM EACH LUMINAIRE TO THE ASSOCIATED LIGHTING CONTROLLER FOR 0-10V LIGHTING CONTROL. ALL CONTROL WIRES SHALL BE LABELED.
- SEE ARCHITECTURAL REFLECTED CEILING PLANS AND ELEVATIONS FOR LOCATIONS OF CEILING AND WALL MOUNTED DEVICES.
- ALL LUMINAIRES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE.
- UNLESS NOTED OTHERWISE, ALL CONDUIT AND WIRING SHALL BE CONCEALED. ELECTRICAL CONNECTIONS SHOWN ON DRAWINGS ARE DIAGRAMMATIC AND ARE USED TO ILLUSTRATE CIRCUITING AND WIRING REQUIREMENTS ONLY.
- ALL JUNCTION BOXES SERVING BRANCH CIRCUIT WIRING SHALL BE LABELED TO IDENTIFY THE CIRCUIT(S) ROUTED THROUGH EACH RESPECTIVE JUNCTION BOX BY UTILIZING BRADY LABELS.
- WHERE PLENUMS ARE UTILIZED FOR HVAC AIR DISTRIBUTION, PROVIDE PLENUM RATED CABLES AND CONDUCTORS IN THOSE PLENUMS. SEE MECHANICAL FOR LOCATIONS OF HVAC PLENUMS.
- ELECTRICAL EQUIPMENT INSTALLED ABOVE CEILINGS SHALL BE INSTALLED IN READILY ACCESSIBLE LOCATIONS, SUCH AS, BUT NOT LIMITED TO, ABOVE DOORWAYS TO ROOMS. COORDINATE ALL LOCATIONS WITH OTHER TRADES TO AVOID CONFLICTS WITH OTHER EQUIPMENT AND THE NEED FOR EXCESSIVELY LONG LADDER REQUIREMENTS TO ACCESS EQUIPMENT AND DIFFICULT AND AWKWARD CLIMBING AND/OR UNNECESSARY BENDING DURING SERVICING OF EQUIPMENT.
- CONDUCTORS INSTALLED IN WIREWAYS THAT CONTAIN MORE THAN 30 CURRENT CARRYING CONDUCTORS SHALL BE DERATED IN ACCORDANCE WITH THE NEC.
- DO NOT USE LOAD CENTERS, PANELBOARDS, SWITCHBOARDS, MOTOR CONTROL CENTERS AND OTHER POWER DISTRIBUTION EQUIPMENT AS RACEWAYS.
- SEE SPECIFICATION SECTION 26 05 34, RACEWAYS FOR ELECTRICAL SYSTEMS, FOR PROJECT SPECIFIC RACEWAY INSTALLATION REQUIREMENTS.
- SEE SPECIFICATION SECTION 26 05 53, IDENTIFICATION FOR ELECTRICAL SYSTEMS, FOR PROJECT SPECIFIC IDENTIFICATION REQUIREMENTS.
- EXISTING ELECTRICAL ITEMS INDICATED IN THE CONTRACT DRAWINGS ARE BASED ON THE OWNER'S LIMITED RECORD DRAWINGS AND THE ENGINEER'S LIMITED FIELD OBSERVATIONS. CONTRACTOR AND ALL APPLICABLE SUB-CONTRACTORS SHALL VISIT THE SITE TO UNDERSTAND COMPLETELY THE CONDITIONS UNDER WHICH THE WORK SHALL BE PERFORMED, PERFORM ALL INCIDENTAL ELECTRICAL DEMOLITION AND/OR RELOCATION OF DEVICES AND EQUIPMENT REQUIRED TO FACILITATE THE DEMOLITION WORK OF OTHER TRADES AT NO ADDITIONAL COST TO THE OWNER.
- DRAWINGS DO NOT INDICATE ALL ELECTRICAL EQUIPMENT AND DEVICES INTENDED TO BE REMOVED. DRAWINGS INDICATE MAJOR ELECTRICAL EQUIPMENT, FIXTURES AND DEVICES THAT ARE REQUIRED TO BE REMOVED. CONTRACTOR SHALL REMOVE OR RELOCATE ELECTRICAL EQUIPMENT, FIXTURES AND DEVICES AS NECESSARY FOR A COMPLETE AND PROFESSIONAL INSTALLATION. SEE NEW LIGHTING, POWER, SYSTEMS, ARCHITECTURAL, PLUMBING AND MECHANICAL PLANS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- UNLESS NOTED OTHERWISE, DISPOSE ALL REMOVED MATERIALS OFF SITE AND INCLUDE ALL COSTS FOR DISPOSAL IN BID. THE DISPOSAL OF MATERIALS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS INCLUDING TOLP TESTING.
- PROVIDE ADEQUATE COVERAGE FOR ALL FIRE ALARM NOTIFICATION AND DETECTION DEVICES FOR A COMPLETE AND OPERABLE MASS NOTIFICATION FIRE ALARM SYSTEM. DEVICES SHOWN ARE TO SPECS DESIGN INTENT.
- FIRE ALARM SYSTEM WORK MAY REQUIRE PHASING TO COMPLETE. COORDINATE ALL WORK TO BE DONE WITH ARCHITECT AND UNIVERSITY.

## ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
S	SINGLE POLE MANUAL LIGHTING SWITCH
S <sub>M</sub>	MANUAL MOTOR STARTER DISCONNECT SWITCH
■	PANELBOARD (208Y/120V)
□	RECESSED OR SURFACE LUMINAIRE
○	WALL MOUNTED LUMINAIRE
⊙	WALL MOUNTED EMERGENCY LUMINAIRE

## FIRE ALARM SYMBOL LEGEND

SYMBOL	DESCRIPTION
□	FAACP MAIN FIRE ALARM CONTROL PANEL
□	HORN SIGNAL, WALL MOUNTED

## SYSTEMS SYMBOL LEGEND

SYMBOL	DESCRIPTION
⊙	WIRELESS ACCESS POINT OUTLET; CEILING MOUNTED

NOTE: ALL NEW LIGHT FIXTURES ARE A 1:1 QUANTITY REPLACEMENT IN ALL SPACES WHERE LIGHTING FIXTURES WILL BE REMOVED, EXCEPT IN BEDROOMS WHERE LIGHT FIXTURES ARE A 2:1 QUANTITY REPLACEMENT, WITH LESS LOAD (VA) FOR EACH CIRCUIT.

LOAD CALCULATIONS	
<b>LOWER LEVEL (WITH ALTERNATE)</b>	
LIGHT FIXTURE LOAD REMOVED	3998VA (11.1A)
LIGHT FIXTURE LOAD ADDED	2689VA (7.5A)
LOAD DIFFERENCE	LESS 1309VA (3.6A)
<b>LOWER LEVEL (WITHOUT ALTERNATE)</b>	
LIGHT FIXTURE LOAD REMOVED	1310VA (3.6A)
LIGHT FIXTURE LOAD ADDED	925VA (2.6A)
LOAD DIFFERENCE	LESS 385VA (1.1A)
<b>FIRST FLOOR</b>	
LIGHT FIXTURE LOAD REMOVED	8380VA (23.3A)
LIGHT FIXTURE LOAD ADDED	4832VA (13.4A)
LOAD DIFFERENCE	LESS 3548VA (9.8A)
<b>SECOND FLOOR</b>	
LIGHT FIXTURE LOAD REMOVED	5922VA (16.4A)
LIGHT FIXTURE LOAD ADDED	3828VA (10.6A)
LOAD DIFFERENCE	LESS 2094VA (5.8A)
<b>THIRD FLOOR</b>	
LIGHT FIXTURE LOAD REMOVED	4566VA (12.7A)
LIGHT FIXTURE LOAD ADDED	2992VA (8.3A)
LOAD DIFFERENCE	LESS 1750VA (4.9A)
<b>FOURTH FLOOR</b>	
LIGHT FIXTURE LOAD REMOVED	2022VA (5.6A)
LIGHT FIXTURE LOAD ADDED	1376VA (3.8A)
LOAD DIFFERENCE	LESS 646VA (1.8A)

FIRE ALARM DEVICES SCHEDULE				
SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NO.	REMARKS
F	MANUAL PULL STATION	(SEE SPECIFICATIONS)	(SEE SPECIFICATIONS)	MOUNT AT 46-INCHES TO CENTER OF BOX, UNO. PROVIDE BACKBOX AS RECOMMENDED BY FIRE ALARM SYSTEM MANUFACTURER.
S	CEILING MTD PHOTOELECTRIC SMOKE DETECTOR/ALARM	(SEE SPECIFICATIONS)	(SEE SPECIFICATIONS)	REUSE BACKBOX WHEREVER POSSIBLE. IF NOT POSSIBLE, PROVIDE BACK BOX AS RECOMMENDED BY FIRE ALARM SYSTEM MANUFACTURER.
L	VISUAL STROBE SIGNAL, WALL MOUNTED	(SEE SPECIFICATIONS)	(SEE SPECIFICATIONS)	REUSE BACKBOX WHEREVER POSSIBLE. IF NOT POSSIBLE, PROVIDE BACK BOX AS RECOMMENDED BY FIRE ALARM SYSTEM MANUFACTURER AND MOUNT AT 80" AFF, UNO.
V	COMBINATION AUDIO SPEAKER / VISUAL STROBE SIGNAL, WALL MOUNTED	(SEE SPECIFICATIONS)	(SEE SPECIFICATIONS)	MOUNT AT 80-INCHES AFF TO BOTTOM OF BOX, UNO. PROVIDE BACKBOX AS RECOMMENDED BY FIRE ALARM SYSTEM MANUFACTURER.
L	CEILING MOUNTED VISUAL DEVICE	(SEE SPECIFICATIONS)	(SEE SPECIFICATIONS)	PROVIDE BACKBOX AS RECOMMENDED BY FIRE ALARM SYSTEM MANUFACTURER.
AV	CEILING MOUNTED COMBINATION AUDIO / VISUAL DEVICE	(SEE SPECIFICATIONS)	(SEE SPECIFICATIONS)	PROVIDE BACKBOX AS RECOMMENDED BY FIRE ALARM SYSTEM MANUFACTURER.

WIRING DEVICES - MANUAL LIGHTING SWITCH SCHEDULE				
SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NO.	REMARKS
S 3OS	LOW VOLTAGE 3-WAY OCCUPANCY SENSOR WALL SWITCH WITH MANUAL ON/OFF CONTROL AND 0-10V DIMMING	HUBBELL	LHD-IRS-3-N-WH	SET TIMER TO 10 MINUTES; MOUNT IN EXISTING BACK BOX
S D	LOW VOLTAGE 0-10V MANUAL DIMMER SWITCH	HUBBELL	RH4FBL3PTC	MOUNT IN EXISTING BACK BOX
S D/O	LOW VOLTAGE 0-10V MANUAL DIMMER SWITCH WITH OCCUPANCY SENSOR	HUBBELL	RH4FBL3PTC	SET TIMER TO 10 MINUTES; MOUNT IN EXISTING BACK BOX
S OS	LOW VOLTAGE OCCUPANCY SENSOR WALL SWITCH WITH MANUAL ON/OFF CONTROL	HUBBELL	LHD-IRS-3-N-WH	SET TIMER TO 10 MINUTES; MOUNT IN EXISTING BACK BOX
CS	DUAL TECHNOLOGY OCCUPANCY SENSOR - CEILING MOUNTED	HUBBELL	OMNID7500	SET TIMER TO 10 MINUTES

LUMINAIRE SCHEDULE								
MARK	DESCRIPTION	MANUFACTURER	CATALOG NO.	OR EQUAL BY	LAMPS	VOLTAGE	LOAD	REMARKS
A	2x4' LED RECESSED, LOW-PROFILE, CURVED LINEAR PRISM LENS, 0-10V DIMMING TO 1%, 4800 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, 120V LED DRIVER, DLC LISTED, L70>50,000 HOURS, LM80 COMPLIANT	LITHONIA	2BLT4-48L-ADP-120-LP-835-EZ1	COLUMBIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	45 VA	
A2	2x4' LED RECESSED, LOW-PROFILE, CURVED LINEAR PRISM LENS, NON-DIMMING, 4800 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, 120V LED DRIVER, DLC LISTED, L70>50,000 HOURS, LM80 COMPLIANT	LITHONIA	2BLT4-48L-ADP-120-LP-835	COLUMBIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	45 VA	
B	2x2' LED RECESSED, LOW-PROFILE, CURVED LINEAR PRISM LENS, NON-DIMMING, 3300 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, 120V LED DRIVER, DLC LISTED, L70>50,000 HOURS, LM80 COMPLIANT	LITHONIA	2BLT2-33L-ADP-120-LP-835	COLUMBIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	30 VA	
B2	2x2' LED RECESSED, LOW-PROFILE, CURVED LINEAR PRISM LENS, 3300 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, 120V LED DRIVER WITH 0-10V DIMMING TO 1%, DLC LISTED, L70>50,000 HOURS, LM80 COMPLIANT	LITHONIA	2BLT2-33L-ADP-120-EZ-1-LP835	COLUMBIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	30 VA	
C	4' LED INDUSTRIAL STRIPLIGHT, STEEL HOUSING, WIRE GUARD, 5500 LUMENS, 3500K, MINIMUM 80 CRI, FIXED OUTPUT, MULTI-VOLTAGE LED DRIVER, DAMP LOCATION, DLC LISTED, L70>50,000 HOURS, LM80 COMPLIANT	COLUMBIA	LCS4-35ML-EU-CSWG-A-CSHC	LITHONIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	42 VA	PROVIDE CHAIN SET, PROVIDE 1400 LUMENS BATTERY PACK WHEREVER A FIXTURE WITH BATTERY BACKUP IS REPLACED ON THE FLOOR PLANS. FOR BIDDING PURPOSES, ASSUME A QUANTITY OF TWELVE, VERIFY AND INSTALL AS REQUIRED
D	2x2' LED RECESSED, LOW-PROFILE, CURVED LINEAR PRISM LENS, HARD CEILING ADAPTER, FIXED OUTPUT, 3300 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, 120V LED DRIVER, DLC LISTED, L70>50,000 HOURS, LM80 COMPLIANT	LITHONIA	2BLT2-33L-ADP-120-LP-835-DGA22	COLUMBIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	30 VA	
F	6-INCH APERTURE, RECESSED RETROFIT LED DOWN LIGHT, LOW-PROFILE, SEMI-SPECULAR FINISH, NON-CONDUCTIVE TRIM, HARD CEILING MOUNTED, 2000 LUMENS OUTPUT, MINIMUM 80 CRI, 3500K, FIXED OUTPUT, 120V LED DRIVER, WET LOCATION, L70 > 50,000 HOURS, LM80 COMPLIANT	PRESCOLITE	RLF6SL-6LFLS-20L-35-K-SS-NCT	GOTHAM, PHILIPS	(LED LAMPS INCLUDED)	120 V	26 VA	
G	2' SURFACE MOUNTED LED WALL MOUNT, ALUMINUM HOUSING, FROSTED RECTILINEAR ACRYLIC LENS, 2400 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, DAMP LOCATION, DLC LISTED, FIXED OUTPUT, MULTI-VOLTAGE LED DRIVER, L70>50,000 HOURS, LM80 COMPLIANT	COLUMBIA	CWM2-35LWSM-FR-EU	LITHONIA, PHILIPS	(LED LAMPS INCLUDED)		21 VA	
H	4' SURFACE MOUNTED LED WALL MOUNT, ALUMINUM HOUSING, FROSTED RECTILINEAR ACRYLIC LENS, 3100 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, DAMP LOCATION, DLC LISTED, FIXED OUTPUT, MULTI-VOLTAGE LED DRIVER, L70>50,000 HOURS, LM80 COMPLIANT	COLUMBIA	CWM4-35LWSM-FR-EU	LITHONIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	24 VA	REUSE EXISTING STAIR LIGHT FIXTURE WIRING AND BACKBOX WHEREVER PRACTICAL
J	4' SURFACE MOUNTED LED WALL MOUNT, STEEL HOUSING, ACRYLIC LENS, 5000 LUMENS OUTPUT, 3500K, MINIMUM 80 CRI, INTEGRAL OCCUPANCY SENSOR, FIXED OUTPUT, MULTI-VOLTAGE LED DRIVER, 1400 LUMENS BATTERY BACKUP, L70>50,000 HOURS, LM80 COMPLIANT	COLUMBIA	LBIL4-35ML-EU-ELL14	LITHONIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	42 VA	BI-LEVEL LUMINAIRE, OPERATES AT FULL OUTPUT WHEN OCCUPANCY IS SENSED, OPERATES AT 50% WHEN VACANCY IS SENSED, FIXTURE SHALL NEVER FULLY TURN OFF
K	WALL MOUNTED, EXTERIOR RADIUS LED DOWNLIGHT, CAST ALUMINUM HOUSING, LOW GLARE DIFFUSE LENS, 5100 LUMENS OUTPUT, WIDE THROW DISTRIBUTION, 4000K, MINIMUM 70 CRI, 120V LED DRIVER, WET LOCATION, DLC LISTED, L70>50,000 HOURS, LM80 COMPLIANT	HUBBELL	RD12-D30-4K7-WT-120-E	LITHONIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	34 VA	PROVIDE EMERGENCY BATTERY BACKUP
L	8-INCH APERTURE, RECESSED LED DOWN LIGHT, MATTE WHITE REFLECTOR AND FLANGE, 22-GAUGE STEEL HOUSING, 1400 LUMENS OUTPUT, MINIMUM 80 CRI, 3500K, 120V LED DRIVER WITH 0-10V 1% DIMMING, DLC LISTED, L70 > 50,000 HOURS, LM80 COMPLIANT	PRESCOLITE	LC8SL-DM1-8LCSL-14L-35K-8-WH	GOTHAM, PHILIPS	(LED LAMPS INCLUDED)	120 V	18 VA	
LE	8-INCH APERTURE, RECESSED LED DOWN LIGHT, MATTE WHITE REFLECTOR AND FLANGE, 22-GAUGE STEEL HOUSING, 1400 LUMENS OUTPUT, MINIMUM 80 CRI, 3500K, 120V LED DRIVER WITH 0-10V 1% DIMMING, DLC LISTED, L70 > 50,000 HOURS, LM80 COMPLIANT	PRESCOLITE	LC8SL-DM1-EM-8LCSL-14L-35K-8-WH-EM	GOTHAM, PHILIPS	(LED LAMPS INCLUDED)	120 V	18 VA	PROVIDE INTEGRAL BATTERY BACKUP
M	2-1/4" APERTURE, RECESSED MINI LED DOWN LIGHT, LOW-PROFILE, DIE CAST ALUMINUM HOUSING, 300 LUMENS OUTPUT, MINIMUM 80 CRI, 3500K, FLOOD LIGHT DISTRIBUTION, REMOTE MOUNT 120V-12V AC ELECTRONIC TRANSFORMER, L70 > 50,000 HOURS, LM80 COMPLIANT	JUNO	MD1LG2-RD-03LM-35K-80CRI-FL-WH	PRESCOLITE, PHILIPS	(LED LAMPS INCLUDED)	120 V	5 VA	REMOTE MOUNT TRANSFORMER ABOVE ELEVATOR CAB CEILING
S	12" SQUARE, LOW PROFILE, LED SURFACE MOUNT, CAST ALUMINUM HOUSING, POLYCARBONATE LENS, 4500 LUMENS OUTPUT, 4000K, MINIMUM 80 CRI, MULTI-VOLTAGE LED DRIVER, DAMP LOCATION, L70>50,000 HOURS, LM80 COMPLIANT	PARAFLEX	CV304-42-40K-EM	LITHONIA, PHILIPS	(LED LAMPS INCLUDED)	120 V	35 VA	PROVIDE INTEGRAL EMERGENCY BATTERY BACKUP

# Xavier University Buenger Hall Renovation Phase 2

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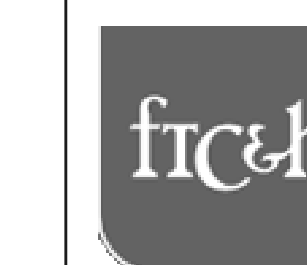
Project #: 17018



304 East Eighth  
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## PLUMBING, MECHANICAL & ELECTRICAL ENGINEERS:



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SHEET REVISION		
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ISSUE	DATE	DESCRIPTION

NOTES

DWG TITLE
<b>SCHEDULES</b>

SHEET NO.
<b>E001</b>

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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**NOTES**

- MOUNT CEILING MOUNTED FIRE ALARM DEVICES A MINIMUM OF 12" FROM ANY LIGHT FIXTURE OR DIFFUSER. EXTEND CONDUIT AS NECESSARY FOR NEW DEVICE LOCATIONS. REFEED FIRE ALARM CIRCUITS WITH NEW WIRING. INITIATING LOOP IS TO REMAIN CLASS B.
- FOR ALL ELECTRICAL DEVICES TO REMAIN THAT ARE LOCATED ON AND ABOVE THE CEILING IN RENOVATION AREAS, TEMPORARILY SUPPORT DEVICES AS REQUIRED AND PROTECT FROM DAMAGE DURING CONSTRUCTION. INSTALL DEVICES IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF WORK IN THAREA.
- NOT ALL EXISTING TO REMAIN DEVICES ARE SHOWN FOR CLARITY.
- ALL PANELBOARD LOCATIONS ARE EXISTING TO REMAIN AND ARE SHOWN FOR REFERENCE ONLY.
- INSTALL ALL REPLACEMENT WALL MOUNTED LIGHT FIXTURES WHERE EXISTING FIXTURES WERE REMOVED. UNO, REUSE EXISTING BACK BOXES, CONDUIT, AND WIRING WHEREVER POSSIBLE.
- REUSE EXISTING CONDUIT, WIRING, AND BACK BOXES WHEREVER PRACTICAL FOR LIGHT FIXTURES AND SWITCHES.
- REUSE EXISTING CONDUIT AND BACK BOXES WHEREVER PRACTICAL FOR WALL AND CEILING MOUNT FIRE ALARM DEVICES.

**KEY NOTES**

- BASE BID: LIGHT FIXTURES AND SWITCHING IN THIS SPACE ARE EXISTING TO REMAIN. ALTERNATE: WIRE NEW LIGHT FIXTURES TO EXISTING LIGHT SWITCHES) AND CIRCUIT IN THIS SPACE. EXTEND CONDUIT AND WIRING AS NECESSARY.
- NO WORK IN THIS AREA.
- WIRE NEW LIGHT SWITCH AND LIGHT FIXTURES TO EXISTING CIRCUIT IN THIS SPACE. LIGHT SWITCH TO CONTROL ALL LIGHT FIXTURES IN THE SPACE, UNLESS INDICATED OTHERWISE ON FLOOR PLANS. EXTEND CONDUIT AND WIRING AS NECESSARY.
- WIRE NEW LIGHT FIXTURE TO EXISTING LIGHTING CONTROLS AND CIRCUIT IN THIS SPACE. EXTEND CONDUIT AND WIRING AS NECESSARY.
- PROVIDE FOUR (4) BLANK COVERPLATES FOR EMPTY BACK BOXES LOCATED ON THE SOUTH WALL.
- DISCONNECT EXISTING UNIT HEATER. REUSE EXISTING CONDUIT, WIRING, CIRCUITING, AND ASSOCIATED ELECTRICAL EQUIPMENT. RECONNECT UPON COMPLETION OF NEW UNIT HEATER INSTALLATION.
- EXISTING FIRE ALARM DEVICE TO REMAIN.

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REV #	DATE	DESCRIPTION

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	03/21/2018	CONSTRUCTION DOCUMENTS
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CONSULTANTS ARCHITECT

ARCHITECTS STAMP

REVISION

ISSUE

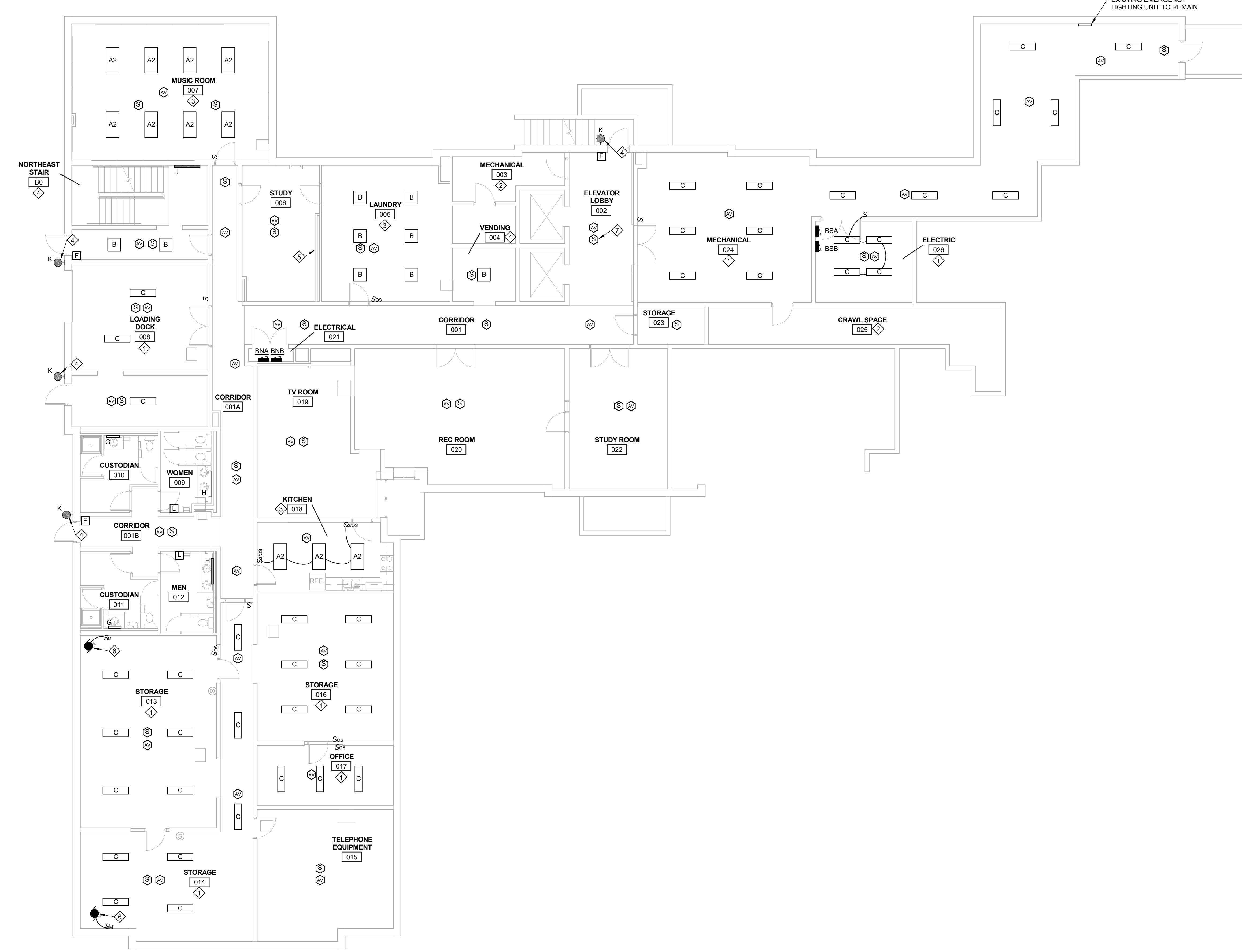
NOTES

DWG TITLE

SHEET NO.

**E100**

PRINT DATE: 3/27/2018 7:47:08 AM



**ELECTRICAL PLAN - LOWER LEVEL**  
SCALE: 1/8" = 1'-0"  
NORTH

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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**NOTES**

1. MOUNT CEILING MOUNTED FIRE ALARM DEVICES A MINIMUM OF 12" FROM ANY LIGHT FIXTURE OR DIFFUSER. EXTEND CONDUIT AS NECESSARY FOR NEW DEVICE LOCATIONS. REFEED FIRE ALARM CIRCUITS WITH NEW WIRING. INITIATING LOOP IS TO REMAIN CLASS B.
2. FOR ALL ELECTRICAL DEVICES TO REMAIN THAT ARE LOCATED ON AND ABOVE THE CEILING IN RENOVATION AREAS, TEMPORARILY SUPPORT DEVICES AS REQUIRED AND PROTECT FROM DAMAGE DURING CONSTRUCTION. INSTALL DEVICES IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF WORK IN THAREA.
3. NOT ALL EXISTING TO REMAIN DEVICES ARE SHOWN FOR CLARITY.
4. ALL PANELBOARD LOCATIONS ARE EXISTING TO REMAIN AND ARE SHOWN FOR REFERENCE ONLY.
5. INSTALL ALL REPLACEMENT WALL MOUNTED LIGHT FIXTURES WHERE EXISTING FIXTURES WERE REMOVED. UNO, REUSE EXISTING BACK BOXES, CONDUIT, AND WIRING WHEREVER POSSIBLE.
6. REUSE EXISTING CONDUIT, WIRING, AND BACK BOXES WHEREVER PRACTICAL FOR LIGHT FIXTURES AND SWITCHES.
7. REUSE EXISTING CONDUIT AND BACK BOXES WHEREVER PRACTICAL FOR WALL AND CEILING MOUNT FIRE ALARM DEVICES.

**KEY NOTES**

1. EXISTING WIRELESS ACCESS POINT TO REMAIN. LOCATIONS INDICATED ON OVERALL PLANS.
2. "OPP. HAND" DESIGNATION IMPLIES SIMILAR LAYOUT IN REVERSED ORIENTATION.
3. REUSE EXISTING KEYED SWITCH IN RESTROOM.
4. WIRE NEW LIGHT SWITCH AND LIGHT FIXTURES TO EXISTING CIRCUIT IN THIS SPACE. LIGHT SWITCH TO CONTROL ALL LIGHT FIXTURES IN THIS SPACE, UNLESS INDICATED OTHERWISE ON FLOOR PLANS. EXTEND CONDUIT AND WIRING AS NECESSARY.
5. WIRE NEW LIGHT FIXTURE TO EXISTING LIGHTING CONTROLS AND CIRCUIT IN THIS SPACE. EXTEND CONDUIT AND WIRING AS NECESSARY.
6. WIRE NEW LIGHT FIXTURE TO EXISTING LIGHTING CONTROLS AND CIRCUIT AT THIS LOCATION. EXTEND CONDUIT AND WIRING AS NECESSARY.
7. NO WORK IN THIS AREA.
8. EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
9. VERIFY QUANTITY AND FIXTURE DIAMETER PRIOR TO ORDERING. QUANTITY OF FIXTURES IS THE SAME AS EXISTING.
10. EXISTING LIGHT FIXTURE TO REMAIN.
11. EXISTING FIRE ALARM DEVICE TO REMAIN.
12. WIRE LIGHT FIXTURES TO EXISTING CAB LIGHTING CIRCUIT.
13. RELOCATE EXISTING RECEPTACLE ON EAST WALL OF KITCHEN TO UNDERCABINET FOR RELOCATION OF DISHWASHER. COORDINATE EXACT LOCATION OF RECEPTACLE WITH ARCHITECT.

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ISSUE	DATE	DESCRIPTION

NOTES

**DWG TITLE**  
**ELECTRICAL  
PLAN - FIRST  
FLOOR**

**SHEET NO.**  
**E101**

PRINT DATE: 3/26/2018 2:24:51 PM

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ARCHITECT'S STAMP

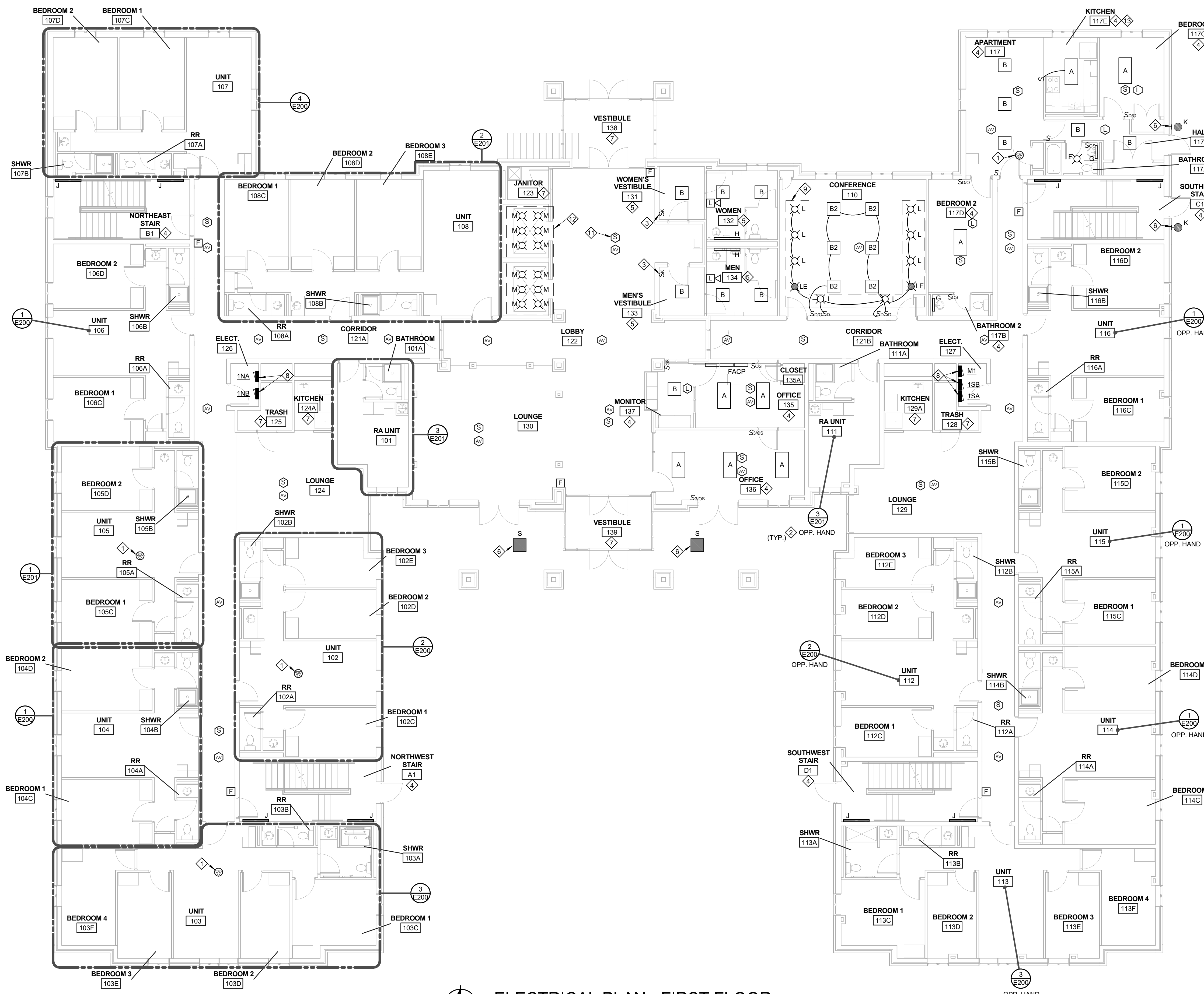
REVISION

ISSUE

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DWG TITLE

SHEET NO.



**ELECTRICAL PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
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Project #: 17018



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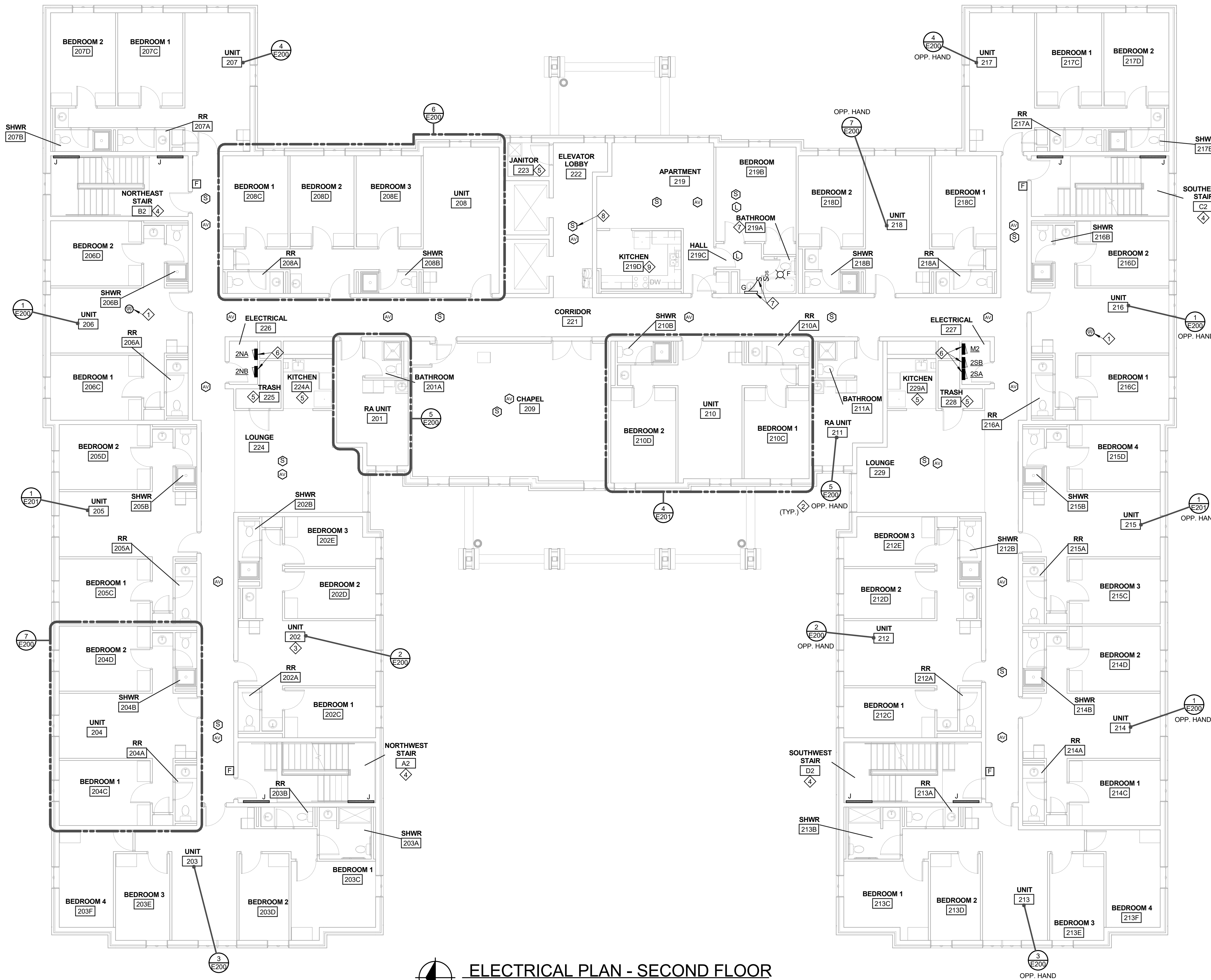
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**NOTES**

1. MOUNT CEILING MOUNTED FIRE ALARM DEVICES A MINIMUM OF 12" FROM ANY LIGHT FIXTURE OR DIFFUSER. EXTEND CONDUIT AS NECESSARY FOR NEW DEVICE LOCATIONS. REFEED FIRE ALARM CIRCUITS WITH NEW WIRING. INITIATING LOOP IS TO REMAIN CLASS B.
2. FOR ALL ELECTRICAL DEVICES TO REMAIN THAT ARE LOCATED ON AND ABOVE THE CEILING IN RENOVATION AREAS, TEMPORARILY SUPPORT DEVICES AS REQUIRED AND PROTECT FROM DAMAGE DURING CONSTRUCTION. INSTALL DEVICES IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF WORK IN THAREA.
3. NOT ALL EXISTING TO REMAIN DEVICES ARE SHOWN FOR CLARITY.
4. ALL PANELBOARD LOCATIONS ARE EXISTING TO REMAIN AND ARE SHOWN FOR REFERENCE ONLY.
5. INSTALL ALL REPLACEMENT WALL MOUNTED LIGHT FIXTURES WHERE EXISTING FIXTURES WERE REMOVED. UNO, REUSE EXISTING BACK BOXES, CONDUIT, AND WIRING WHEREVER POSSIBLE.
6. REUSE EXISTING CONDUIT, WIRING, AND BACK BOXES WHEREVER PRACTICAL FOR LIGHT FIXTURES AND SWITCHES.
7. REUSE EXISTING CONDUIT AND BACK BOXES WHEREVER PRACTICAL FOR WALL AND CEILING MOUNT FIRE ALARM DEVICES.

**KEY NOTES**

1. EXISTING WIRELESS ACCESS POINT TO REMAIN. LOCATIONS INDICATED ON OVERALL PLANS.
2. "OPP. HAND" DESIGNATION IMPLIES SIMILAR LAYOUT IN REVERSED ORIENTATION.
3. NEW CEILING MOUNTED FIRE ALARM DEVICE TO BE PHOTOELECTRIC SMOKE DETECTOR.
4. WIRE NEW LIGHT FIXTURE TO EXISTING LIGHTING CONTROLS AND CIRCUIT IN THIS SPACE. EXTEND CONDUIT AND WIRING AS NECESSARY.
5. NO WORK IN THIS AREA.
6. EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
7. WIRE NEW LIGHT SWITCH AND LIGHT FIXTURES TO EXISTING CIRCUIT IN THIS SPACE. LIGHT SWITCH TO CONTROL ALL LIGHT FIXTURES, UNLESS INDICATED OTHERWISE ON FLOOR PLANS. EXTEND CONDUIT AND WIRING AS NECESSARY.
8. EXISTING FIRE ALARM DEVICE TO REMAIN.
9. RELOCATE EXISTING RECEPTACLE ON WEST WALL OF KITCHEN TO UNDERCABINET FOR RELOCATION OF DISHWASHER. COORDINATE EXACT LOCATION OF RECEPTACLE WITH ARCHITECT.



**ELECTRICAL PLAN - SECOND FLOOR**  
SCALE: 1/8" = 1'-0"  
NORTH

CONSULTANTS ARCHITECT

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DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

DWG TITLE

**ELECTRICAL  
PLAN - SECOND  
FLOOR**

SHEET NO.

**E102**



**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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**NOTES**

1. MOUNT CEILING MOUNTED FIRE ALARM DEVICES A MINIMUM OF 12" FROM ANY LIGHT FIXTURE OR DIFFUSER. EXTEND CONDUIT AS NECESSARY FOR NEW DEVICE LOCATIONS. REFEED FIRE ALARM CIRCUITS WITH NEW WIRING. INITIATING LOOP IS TO REMAIN CLASS B.
2. FOR ALL ELECTRICAL DEVICES TO REMAIN THAT ARE LOCATED ON AND ABOVE THE CEILING IN RENOVATION AREAS, TEMPORARILY SUPPORT DEVICES AS REQUIRED AND PROTECT FROM DAMAGE DURING CONSTRUCTION. INSTALL DEVICES IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF WORK IN THAREA.
3. NOT ALL EXISTING TO REMAIN DEVICES ARE SHOWN FOR CLARITY.
4. ALL PANELBOARD LOCATIONS ARE EXISTING TO REMAIN AND ARE SHOWN FOR REFERENCE ONLY.
5. INSTALL ALL REPLACEMENT WALL MOUNTED LIGHT FIXTURES WHERE EXISTING FIXTURES WERE REMOVED. UNO, REUSE EXISTING BACK BOXES, CONDUIT, AND WIRING WHEREVER POSSIBLE.
6. REUSE EXISTING CONDUIT, WIRING, AND BACK BOXES WHEREVER PRACTICAL FOR LIGHT FIXTURES AND SWITCHES.
7. REUSE EXISTING CONDUIT AND BACK BOXES WHEREVER PRACTICAL FOR REPLACEMENT FIRE ALARM DEVICES.
8. SEE ELECTRICAL DETAILS FOR FIRE ALARM DEVICES LOCATED IN SUITES AND RA ROOMS.

**KEY NOTES**

1. EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
2. NO WORK IN THIS AREA.
3. "OPP. HAND" DESIGNATION IMPLIES SIMILAR LAYOUT IN REVERSED ORIENTATION.
4. EXISTING WIRELESS ACCESS POINT TO REMAIN. LOCATIONS INDICATED ON OVERALL PLANS.
5. PROVIDE ONE (1) BLANK COVERPLATE FOR EMPTY BACK BOX LOCATED ON THE WEST WALL.
6. EXISTING FIRE ALARM DEVICE TO REMAIN.

REVISION

REV #	DATE	DESCRIPTION

ISSUE

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

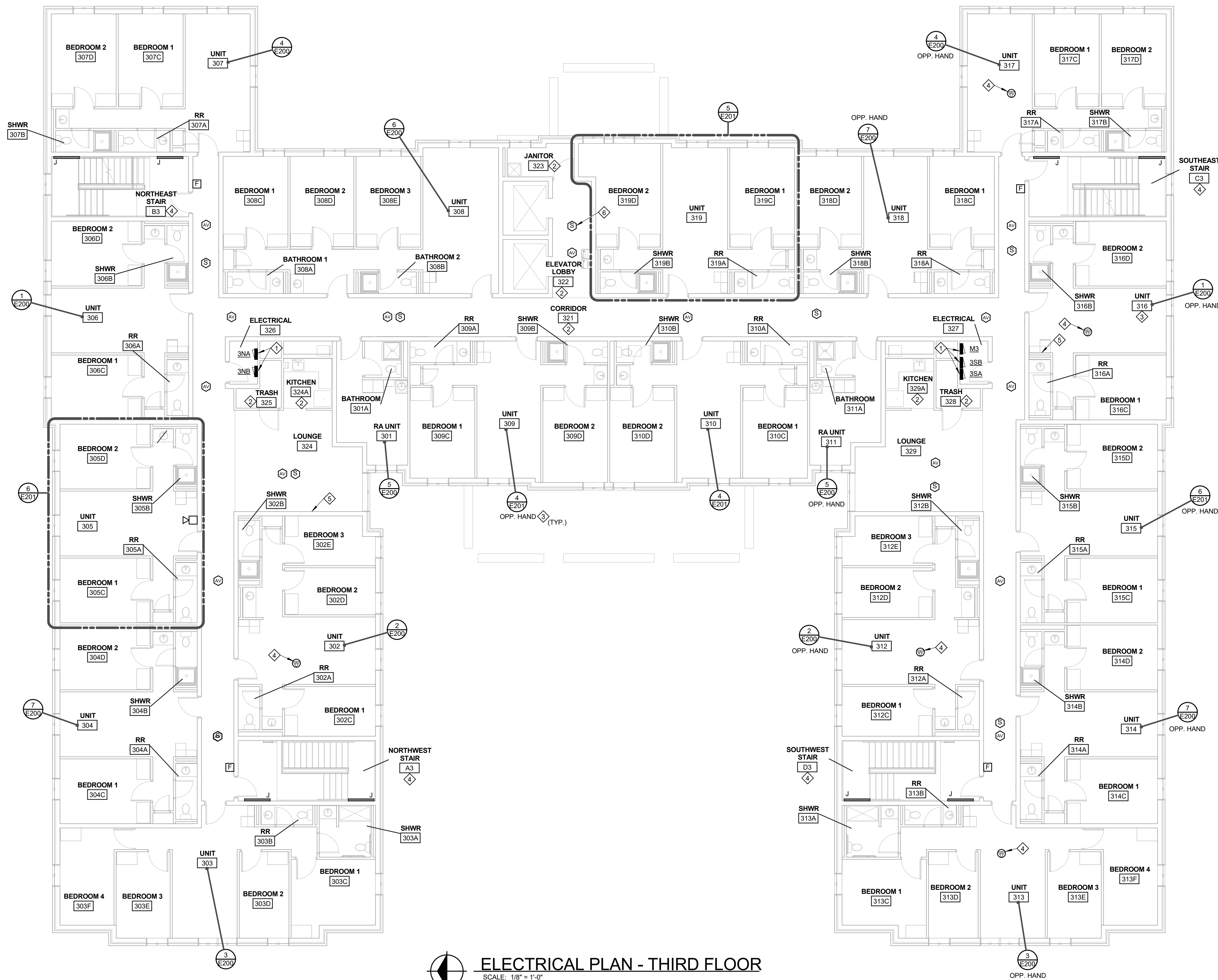
NOTES

DWG TITLE

**ELECTRICAL PLAN - THIRD FLOOR**

SHEET NO.

**E103**



NORTH

**ELECTRICAL PLAN - THIRD FLOOR**

SCALE: 1/8" = 1'-0"

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



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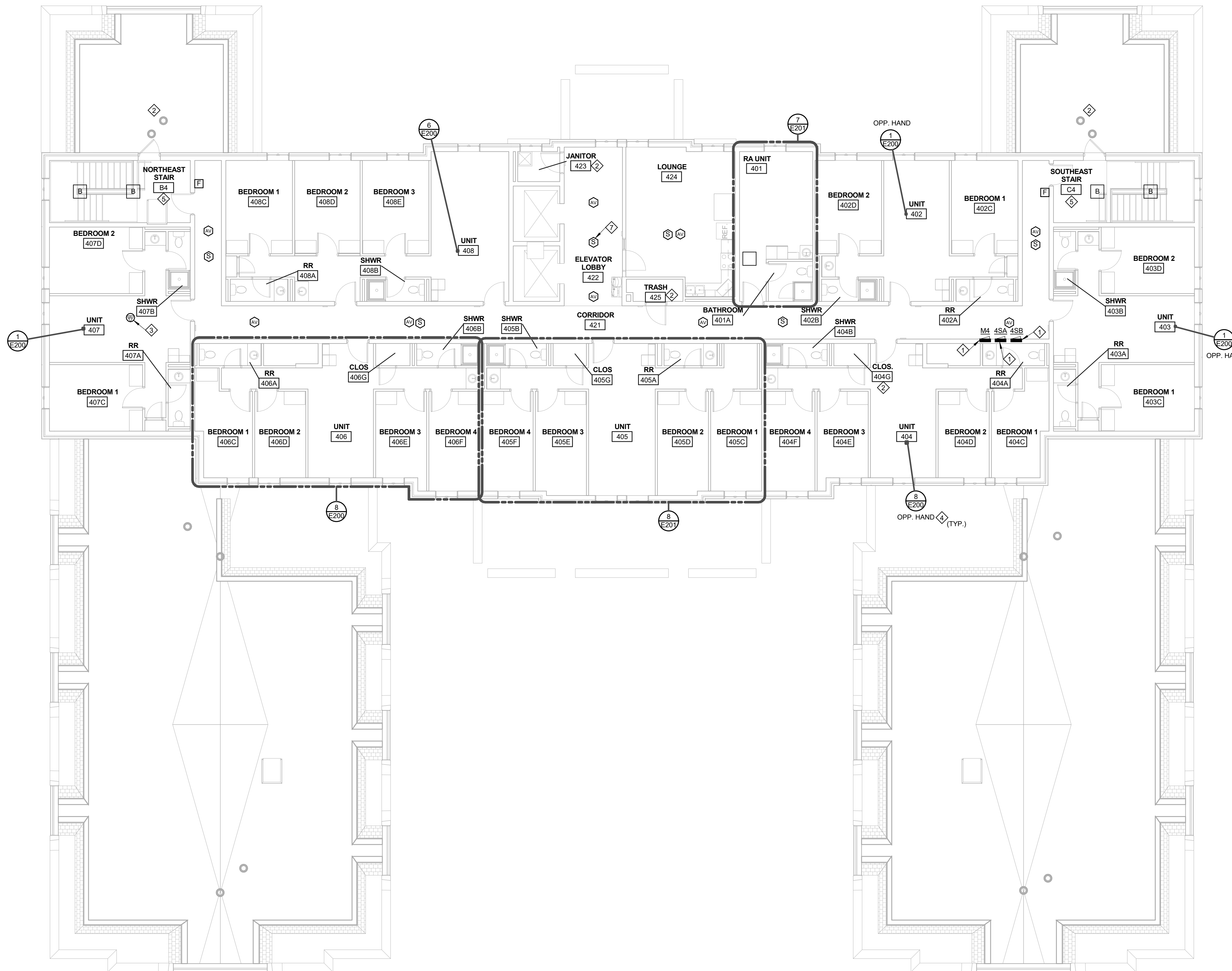


**NOTES**

1. MOUNT CEILING AND WALL MOUNTED FIRE ALARM DEVICES A MINIMUM OF 12" FROM ANY LIGHT FIXTURE OR DIFFUSER. EXTEND CONDUIT AS NECESSARY FOR NEW DEVICE LOCATIONS. REFEED FIRE ALARM CIRCUITS WITH NEW. INITIATING LOOP IS TO REMAIN CLASS B.
2. FOR ALL ELECTRICAL DEVICES TO REMAIN THAT ARE LOCATED ON AND ABOVE THE CEILING IN RENOVATION AREAS, TEMPORARILY SUPPORT DEVICES AS REQUIRED AND PROTECT FROM DAMAGE DURING CONSTRUCTION. INSTALL DEVICES IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF WORK IN THAT AREA.
3. NOT ALL EXISTING TO REMAIN DEVICES ARE SHOWN FOR CLARITY.
4. ALL PANELBOARD LOCATIONS ARE EXISTING TO REMAIN AND ARE SHOWN FOR REFERENCE ONLY.
5. REUSE EXISTING CONDUIT AND BACK BOXES WHEREVER PRACTICAL FOR REPLACEMENT FIRE ALARM DEVICES.
6. SEE ELECTRICAL DETAILS FOR FIRE ALARM DEVICES LOCATED IN SUITES AND RA ROOMS.

**KEY NOTES**

1. EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
2. NO WORK IN THIS AREA.
3. EXISTING WIRELESS ACCESS POINT TO REMAIN. LOCATIONS INDICATED ON OVERALL PLANS.
4. "OPP. HAND" DESIGNATION IMPLIES SIMILAR LAYOUT IN REVERSED ORIENTATION.
5. EXISTING EMERGENCY LIGHTING UNIT IN THIS SPACE TO REMAIN.
6. WIRE NEW LIGHT FIXTURE TO EXISTING LIGHTING CONTROLS AND CIRCUIT IN THIS SPACE. EXTEND CONDUIT AND WIRING AS NECESSARY.
7. EXISTING FIRE ALARM DEVICE TO REMAIN.



**ELECTRICAL PLAN - FOURTH FLOOR**

SCALE: 1/8" = 1'-0"

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ISSUE	DATE	DESCRIPTION

NOTES

**DWG TITLE**  
**ELECTRICAL PLAN - FOURTH FLOOR**

**SHEET NO.**  
**E104**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, Ohio 45207

Project #: 17018



304 East Eighth  
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CONSULTANTS ARCHITECT

ARCHITECTS STAMP

**PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEERS:**



Fishbeck, Thompson, Carr &  
Huber, Inc.  
11353 Reed Hartman Hwy.,  
Suite 500  
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513-469-2370



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REV #	DATE	DESCRIPTION

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DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

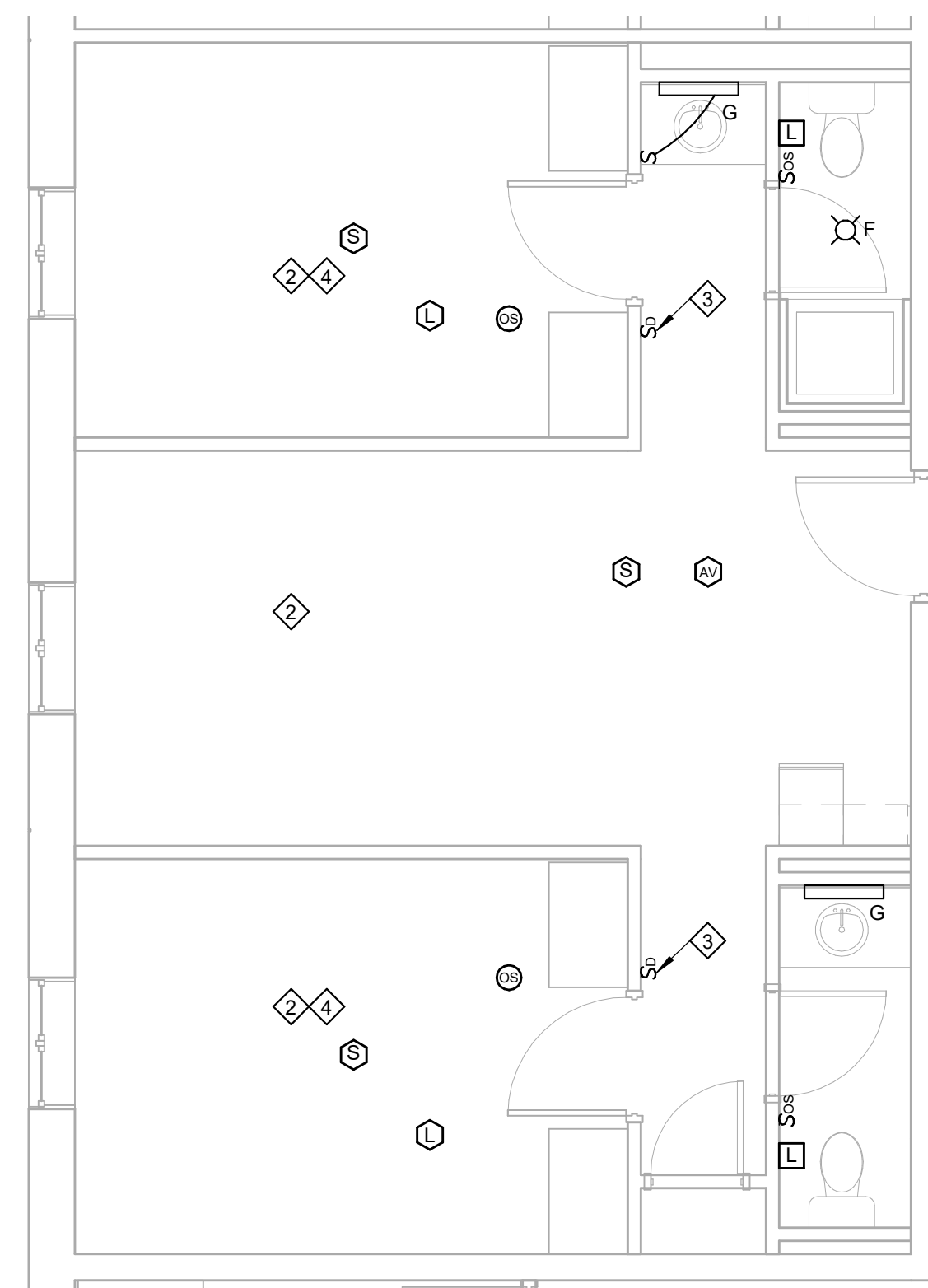
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DWG TITLE

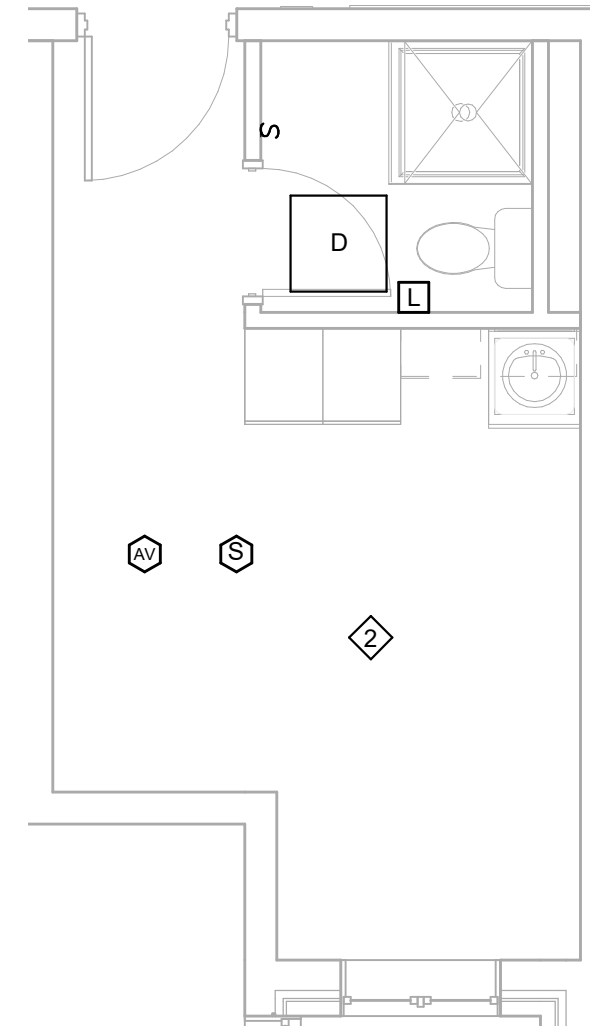
**ELECTRICAL  
DETAILS**

SHEET NO.

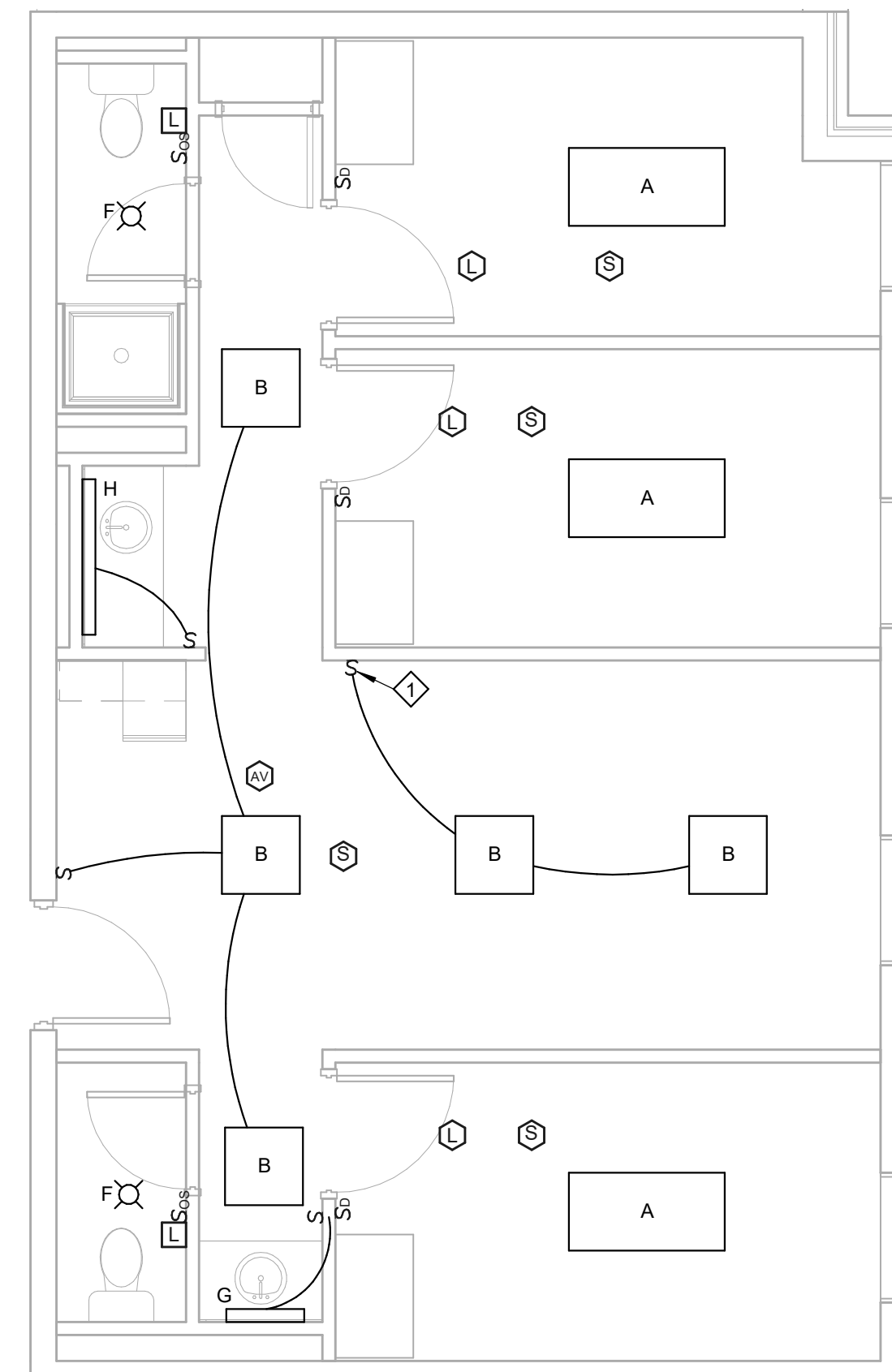
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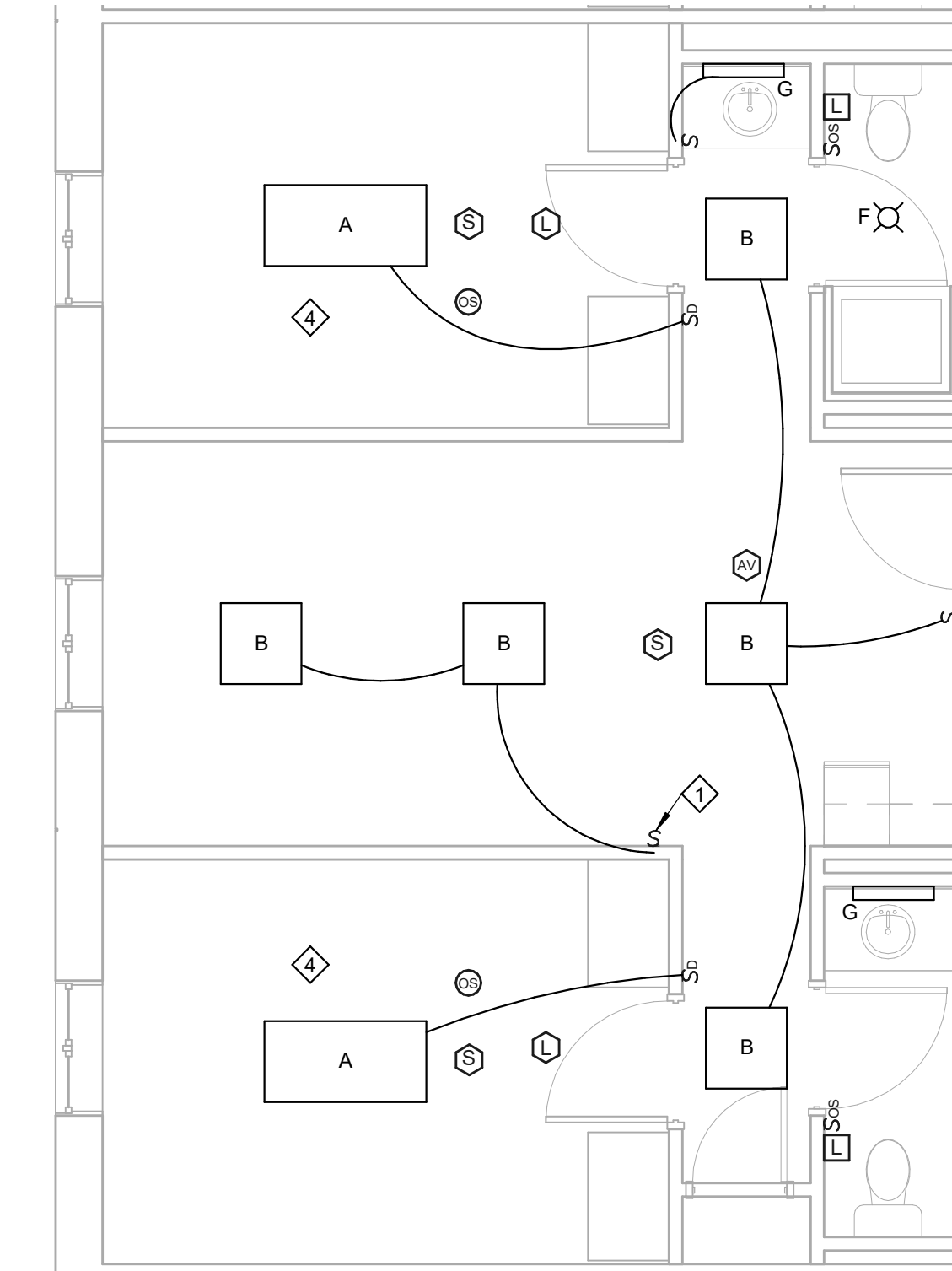
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SCALE: 1/4" = 1'-0"



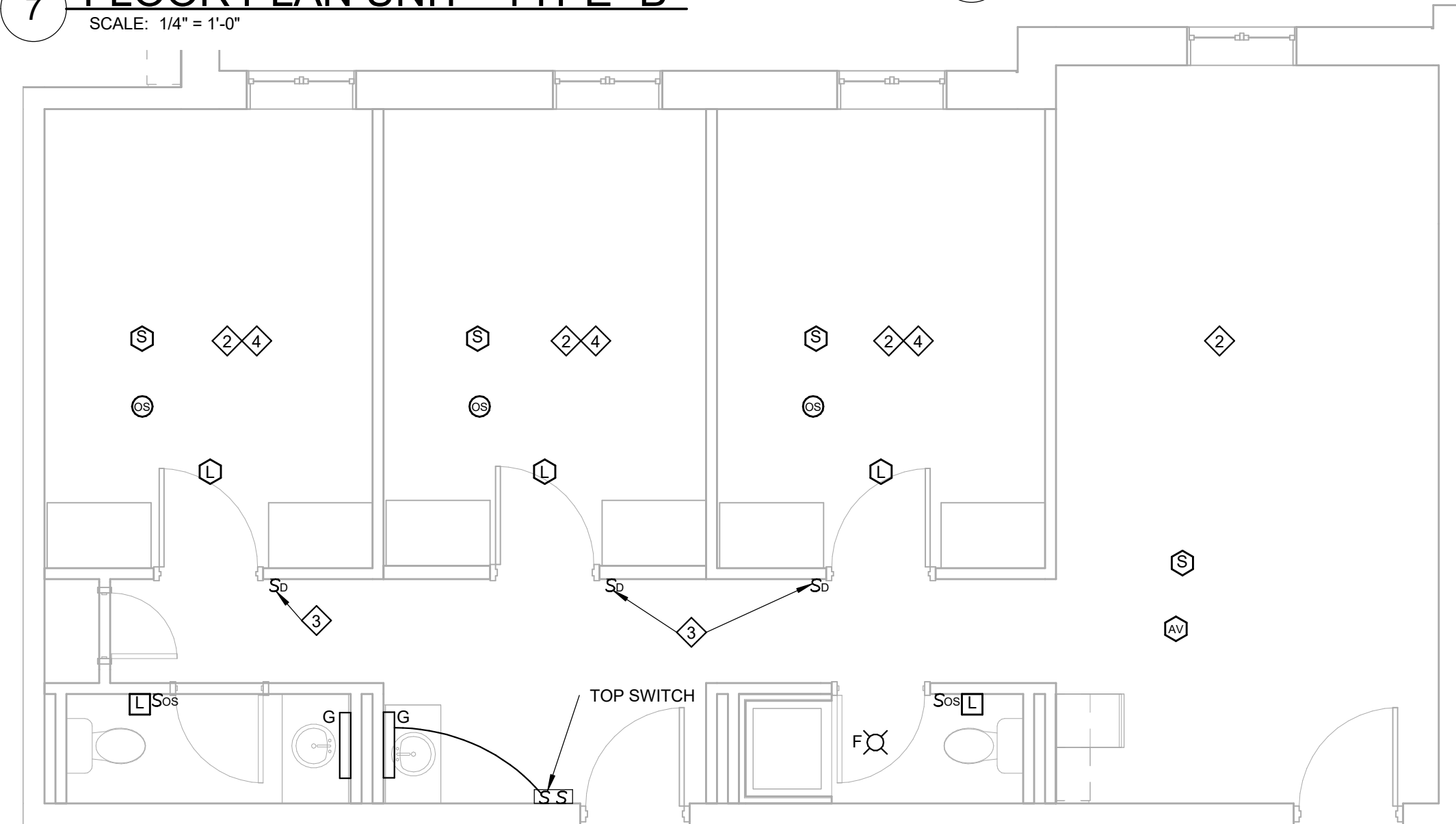
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SCALE: 1/4" = 1'-0"



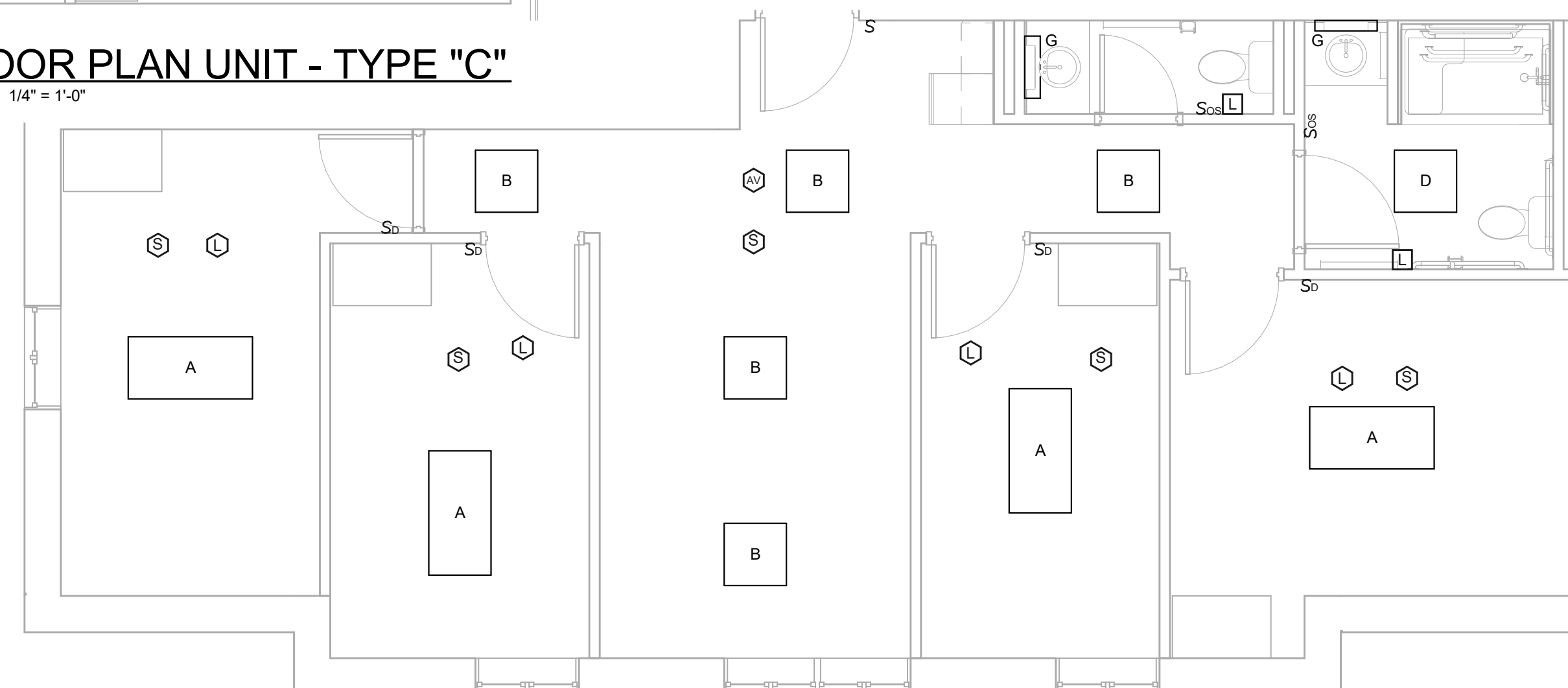
**2 FLOOR PLAN UNIT - TYPE "C"**  
SCALE: 1/4" = 1'-0"



**1 FLOOR PLAN UNIT - TYPE "B"**  
SCALE: 1/4" = 1'-0"



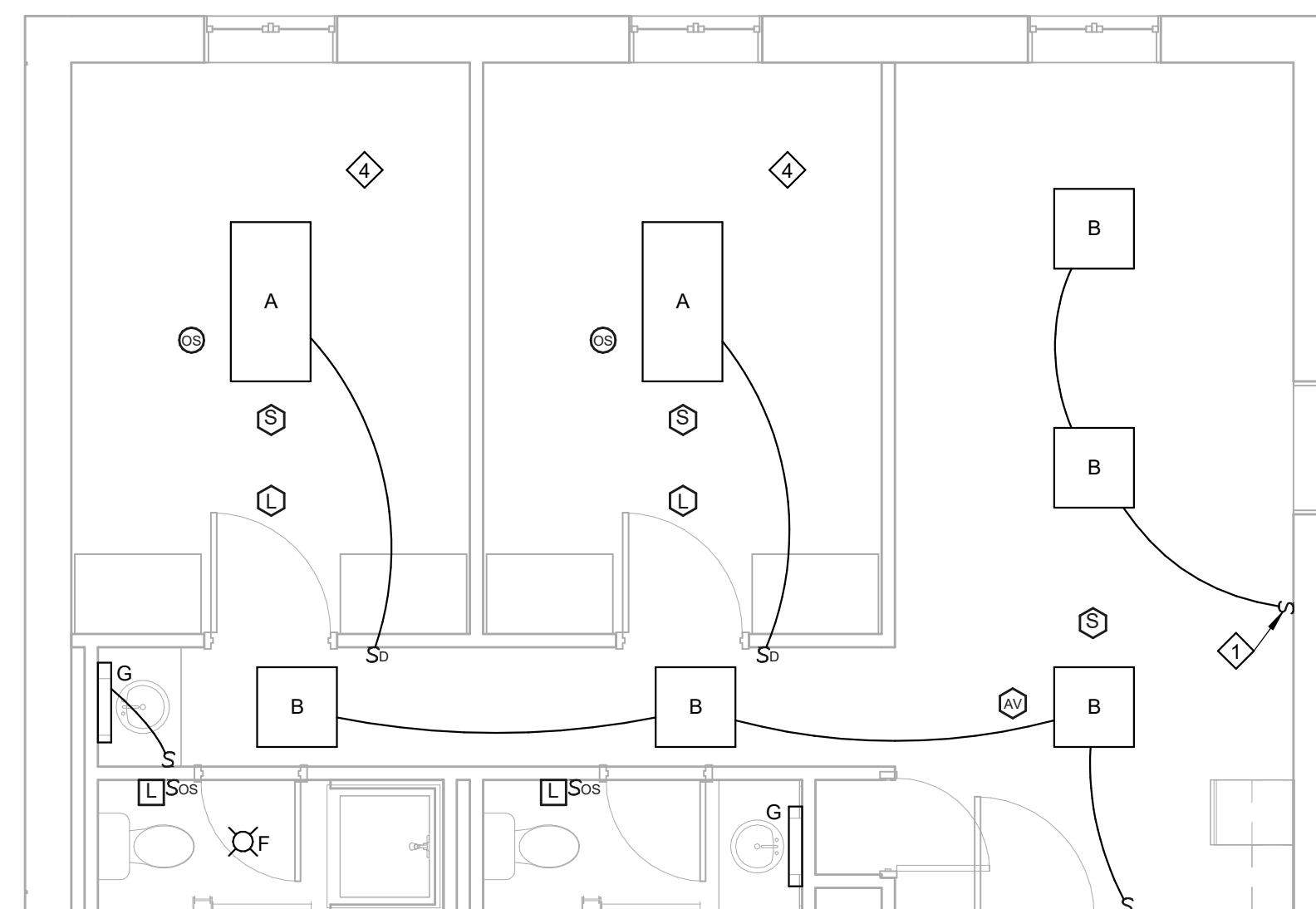
**6 FLOOR PLAN UNIT - TYPE "N"**  
SCALE: 1/4" = 1'-0"



**3 FLOOR PLAN UNIT - TYPE "D"**  
SCALE: 1/4" = 1'-0"



**8 FLOOR PLAN UNIT - TYPE "J"**  
SCALE: 1/4" = 1'-0"



**4 FLOOR PLAN UNIT - TYPE "A"**  
SCALE: 1/4" = 1'-0"

**KEY NOTES**

- WIRE LIGHTS TO THIS SWITCH AS SHOWN ONLY WHEN THIS SWITCH IS ALREADY PRESENT IN THE SUITE COMMON AREA. IF THIS DEVICE IS NOT EXISTING IN THE SPACE, WIRE ALL LIGHTS IN THE COMMON AREA TO THE SWITCH LOCATED ADJACENT TO THE SUITE DOOR.
- EXISTING CEILING MOUNTED LIGHTING TO REMAIN, UNO.
- REWIRE LIGHT SWITCH TO EXISTING LIGHTING CIRCUIT IN ASSOCIATED BEDROOM. REUSE EXISTING BACK BOX AND PROVIDE NEW COVERPLATE IF REQUIRED.
- PROVIDE MANUAL ON/AUTO OFF WITH ON/OFF OVERRIDE CONTROL AND 0-10V DIMMING LIGHTING CONTROL IN THIS SPACE.

**NOTES**

- MOUNT CEILING MOUNTED FIRE ALARM DEVICES A MINIMUM OF 12" FROM ANY LIGHT FIXTURE OR DIFFUSER. EXTEND CONDUIT AS NECESSARY FOR NEW DEVICE LOCATIONS. REFEED FIRE ALARM CIRCUITS WITH NEW WIRING. INITIATING LOOP IS TO REMAIN CLASS B.
- FOR ALL ELECTRICAL DEVICES TO REMAIN THAT ARE LOCATED ON AND ABOVE THE CEILING IN RENOVATION AREAS, TEMPORARILY SUPPORT DEVICES AS REQUIRED AND PROTECT FROM DAMAGE DURING CONSTRUCTION. INSTALL DEVICES IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF WORK IN THAREA.
- WIRE LIGHT FIXTURES TO LIGHT SWITCH LOCATED IN THE SPACE, UNO.
- COORDINATE EXACT LIGHT FIXTURE LOCATIONS WITH EXISTING DIFFUSERS. ADJUST LIGHT FIXTURES AS NECESSARY TO ACCOMMODATE DIFFUSERS.
- NOT ALL EXISTING TO REMAIN DEVICES ARE SHOWN FOR CLARITY.
- INSTALL ALL REPLACEMENT WALL MOUNTED LIGHT FIXTURES WHERE EXISTING FIXTURES WERE REMOVED. UNO. REUSE EXISTING BACK BOXES, CONDUIT, AND WIRING WHEREVER POSSIBLE.
- REUSE EXISTING CONDUIT, WIRING, AND BACK BOXES WHEREVER PRACTICAL FOR LIGHT FIXTURES AND SWITCHES.
- REUSE EXISTING CONDUIT AND BACK BOXES WHEREVER PRACTICAL FOR REPLACEMENT FIRE ALARM DEVICES.
- WIRELESS ACCESS POINTS ARE SHOWN ON 1/8" SCALE FLOOR PLANS.

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**PLUMBING, MECHANICAL &  
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11353 Reed Hartman Hwy.,  
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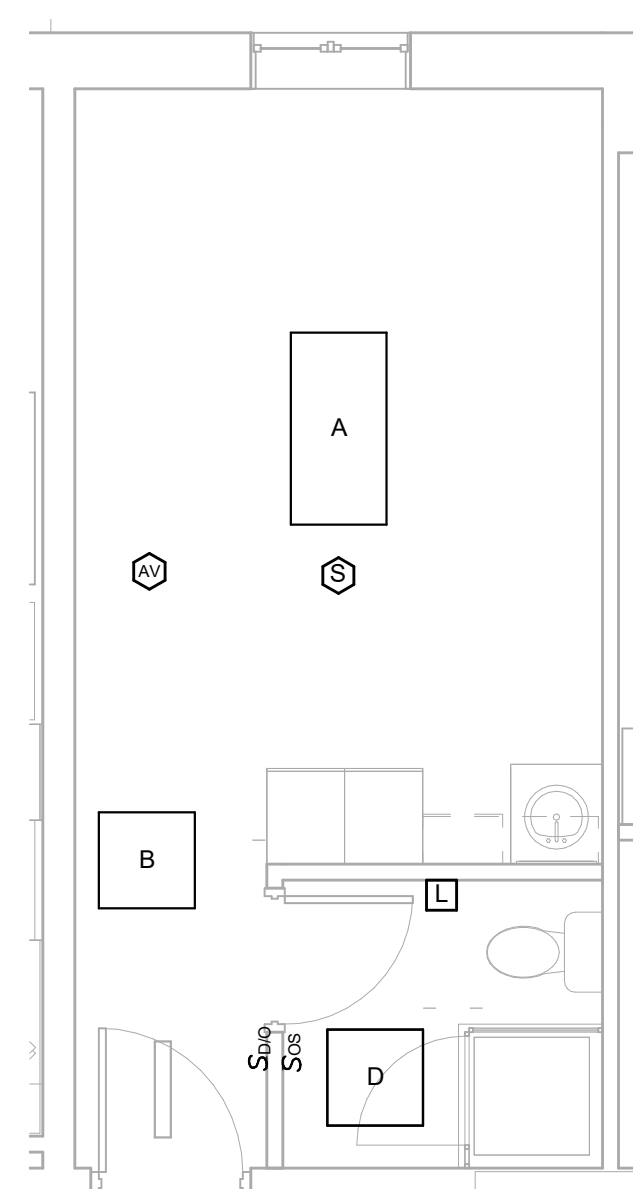
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**DWG TITLE**  
**ELECTRICAL  
DETAILS**

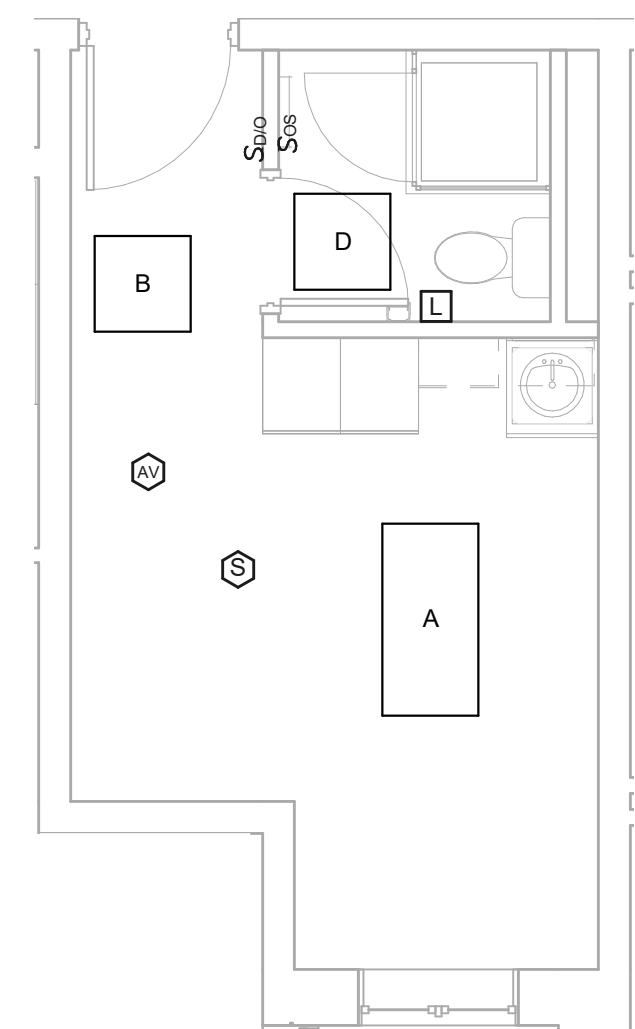
SHEET NO.

**E201**

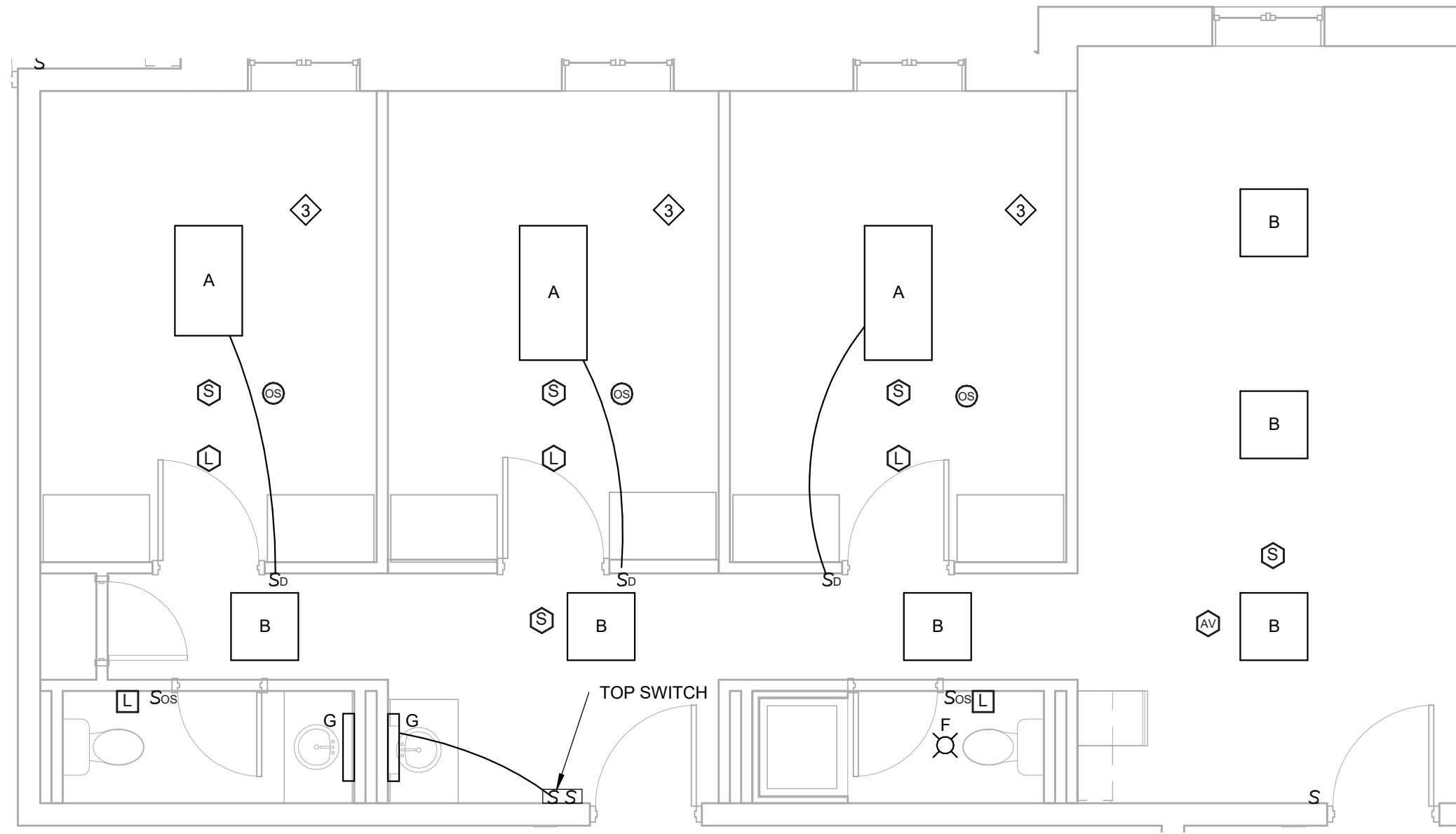
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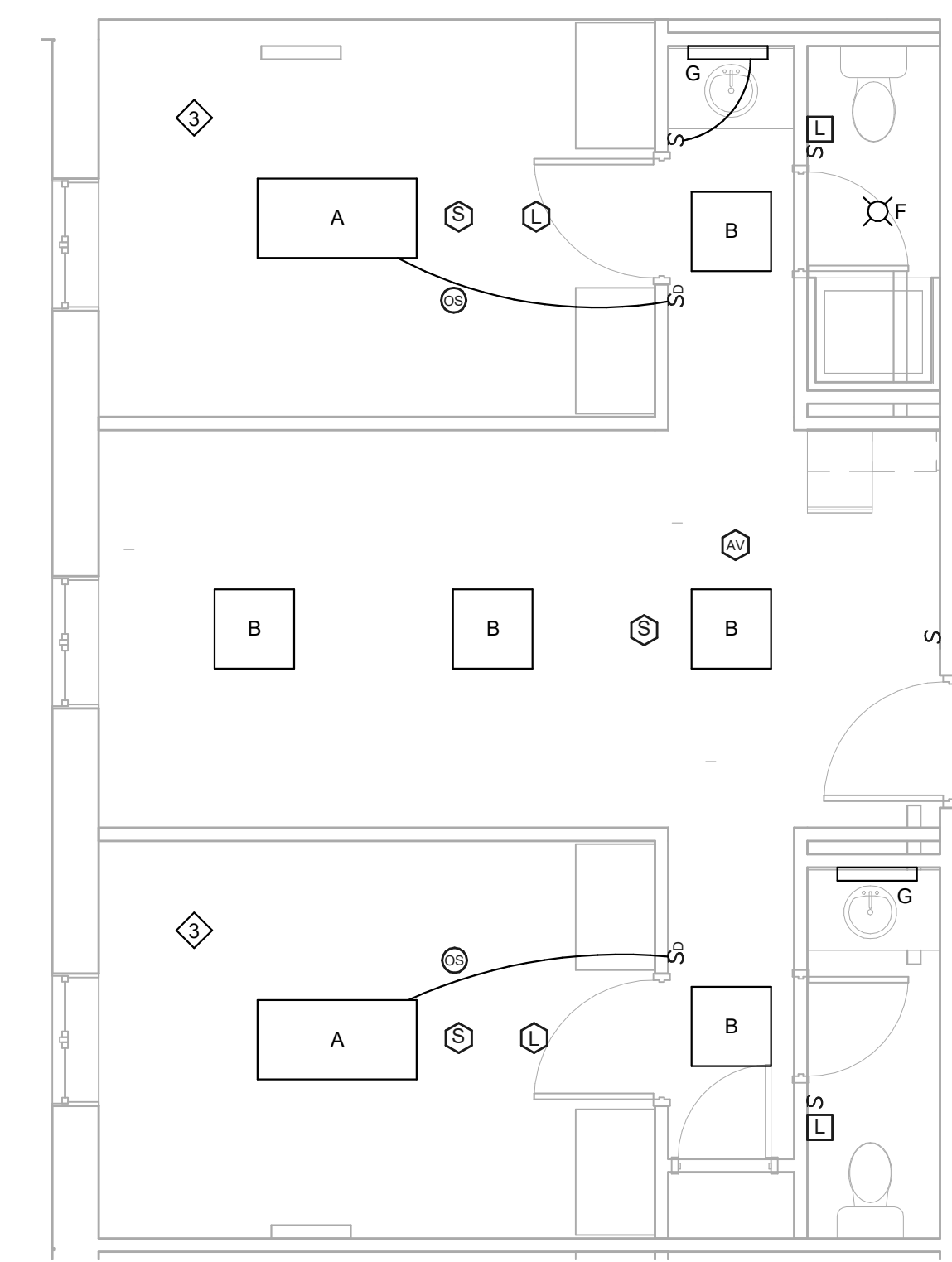
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SCALE: 1/4" = 1'-0"



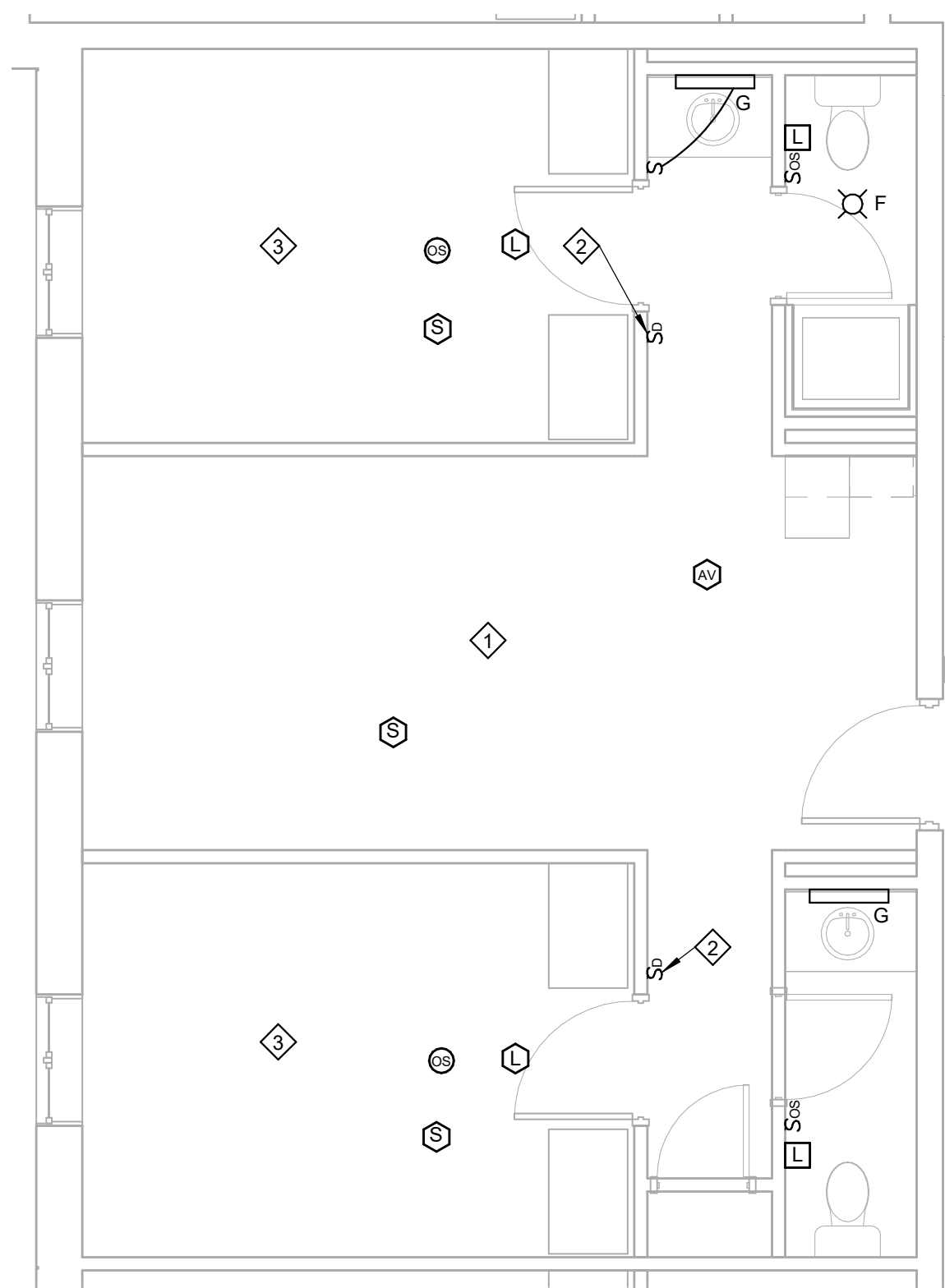
**3 FLOOR PLAN UNIT - TYPE "E"**  
SCALE: 1/4" = 1'-0"



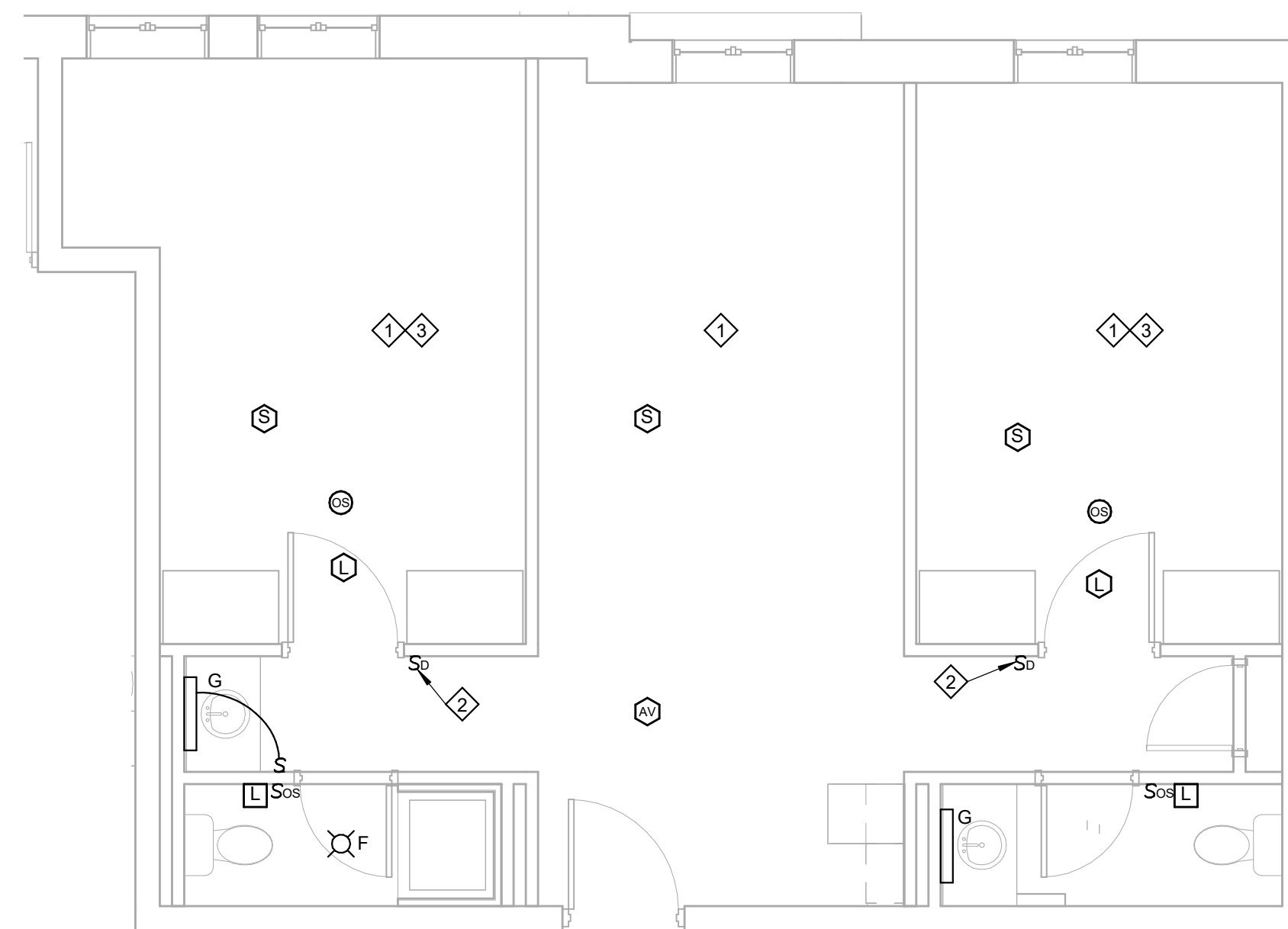
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SCALE: 1/4" = 1'-0"



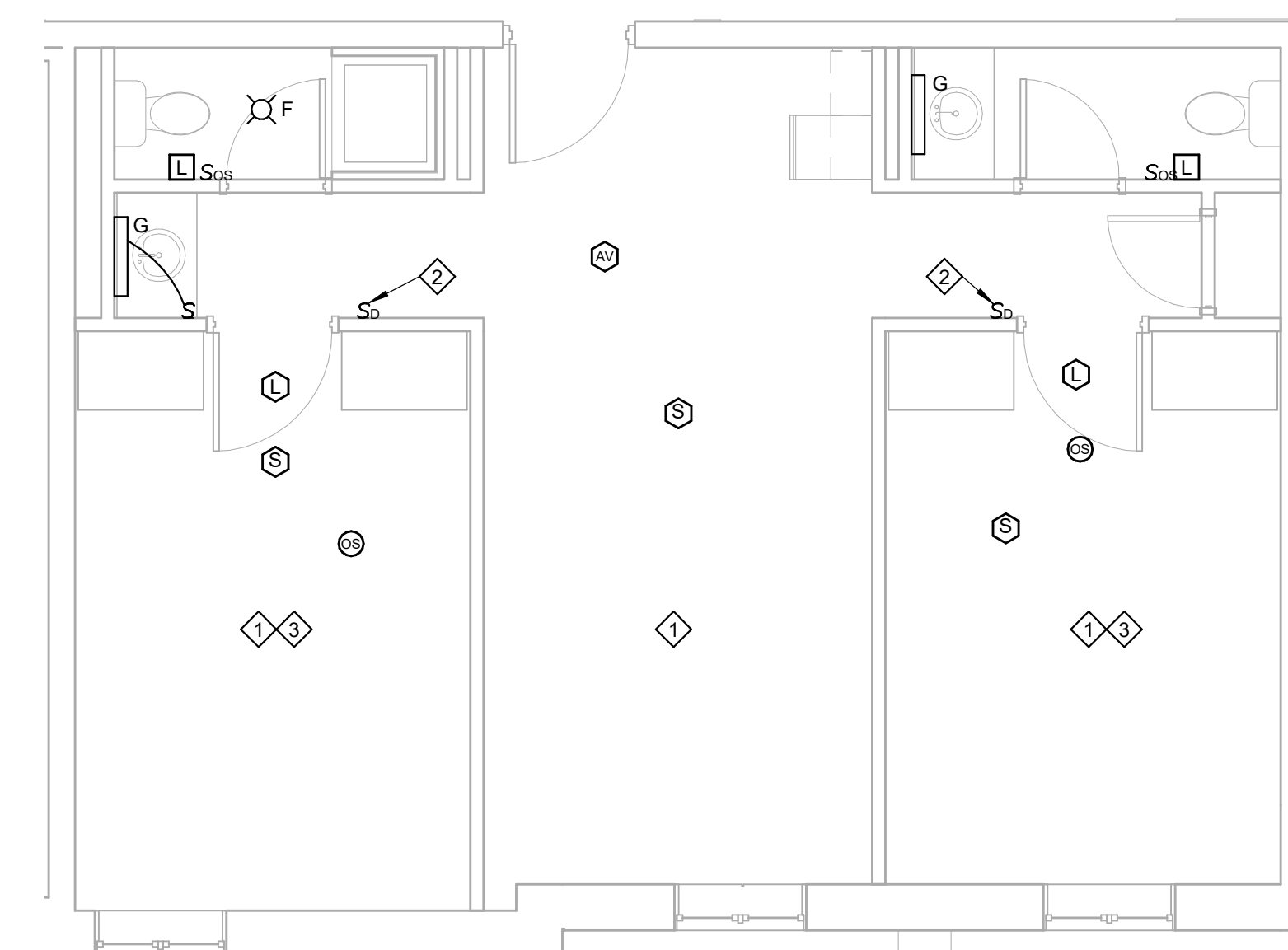
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SCALE: 1/4" = 1'-0"



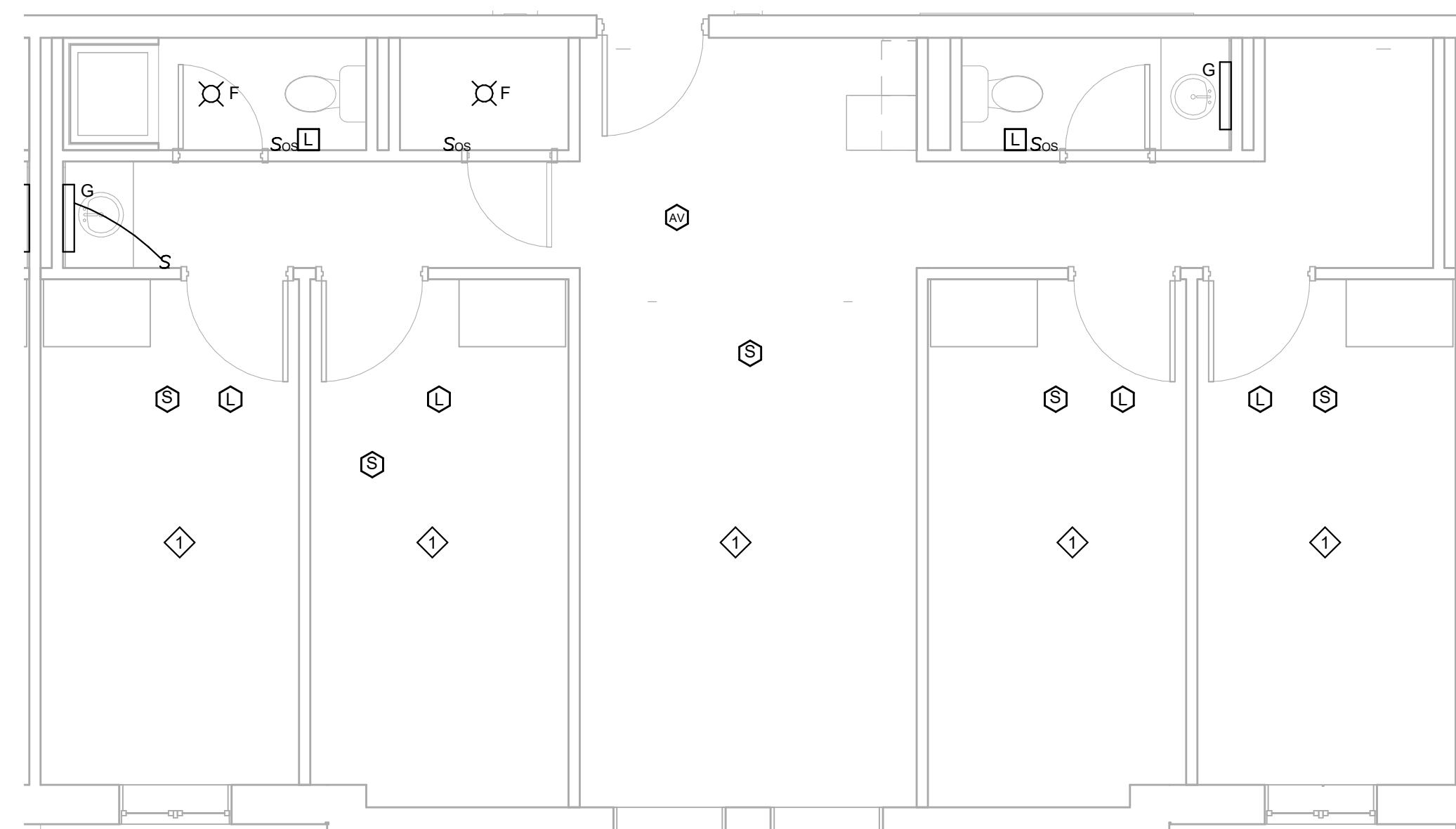
**6 FLOOR PLAN UNIT - TYPE "B.1"**  
SCALE: 1/4" = 1'-0"



**5 FLOOR PLAN UNIT - TYPE "H"**  
SCALE: 1/4" = 1'-0"



**4 FLOOR PLAN UNIT - TYPE "G"**  
SCALE: 1/4" = 1'-0"



**8 FLOOR PLAN UNIT - TYPE "K"**  
SCALE: 1/4" = 1'-0"

**KEY NOTES**

- EXISTING CEILING MOUNTED LIGHTING TO REMAIN, UNO.
- REWIRE LIGHT SWITCH TO EXISTING LIGHTING CIRCUIT IN ASSOCIATED BEDROOM. REUSE EXISTING BACK BOX AND PROVIDE NEW COVERPLATE IF REQUIRED.
- PROVIDE MANUAL ON/AUTO OFF WITH ON/OFF OVERRIDE CONTROL AND 0-10V DIMMING LIGHTING CONTROL IN THIS SPACE.

**NOTES**

- MOUNT CEILING AND WALL MOUNTED FIRE ALARM DEVICES AS NEAR TO ORIGINAL LOCATION AS POSSIBLE AND A MINIMUM OF 12" FROM ANY LIGHT FIXTURE. EXTEND CONDUIT AS NECESSARY FOR NEW DEVICE LOCATION UTILIZING SLACK IN EXISTING WIRING WHERE APPLICABLE. WHERE THIS IS NOT POSSIBLE, REMOVE WIRING BACK TO SOURCE AND REFEED WITH NEW. INITIATING LOOP IS TO REMAIN CLASS B.
- FOR ALL ELECTRICAL DEVICES TO REMAIN THAT ARE LOCATED ON AND ABOVE THE CEILING IN RENOVATION AREAS, TEMPORARILY SUPPORT DEVICES AS REQUIRED AND PROTECT FROM DAMAGE DURING CONSTRUCTION. INSTALL DEVICES IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF WORK IN THAT AREA.
- IN SUITE COMMON AREAS AND BEDROOMS, REUSE EXISTING FIRE ALARM CONDUIT AND BACK BOXES WHEREVER PRACTICAL FOR NEW DEVICES.
- WIRE LIGHT FIXTURES TO LIGHT SWITCH LOCATED IN THE SPACE, UNO.
- COORDINATE EXACT LIGHT FIXTURE LOCATIONS WITH EXISTING DIFFUSERS. ADJUST LIGHT FIXTURES AS NECESSARY TO ACCOMMODATE DIFFUSERS.

**Xavier University  
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Phase 2**

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MECHANICAL CONSULTANT:



**MOTZ ENGINEERING**

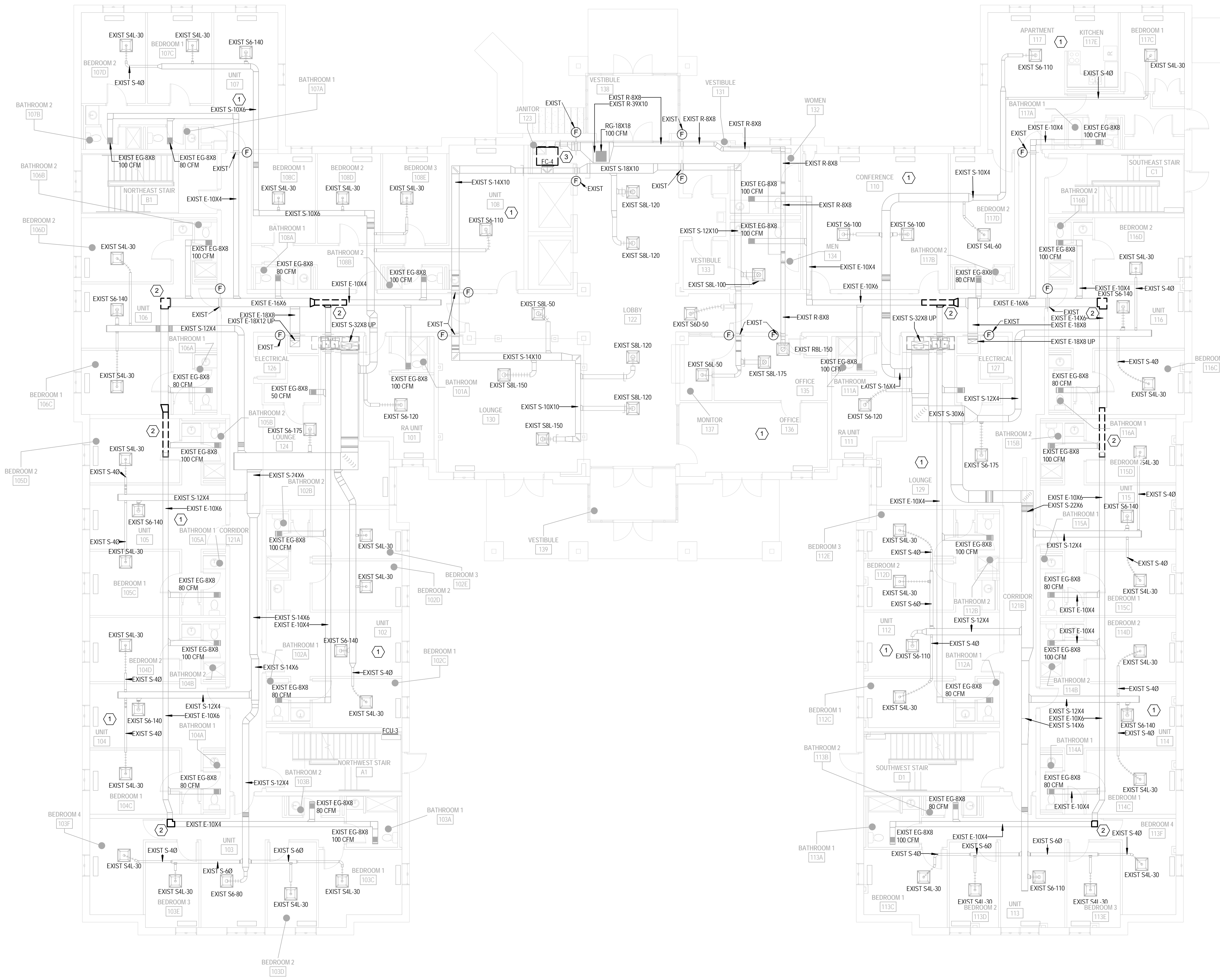
300 West 4th Street, Suite 300  
Cincinnati, OH 45202  
(513) 621-5400

**GENERAL NOTES:**

- A. UNLESS OTHERWISE NOTED, ALL DUCTWORK AND PIPING SHOWN DASHED AND DARK IS TO BE REMOVED.
- B. CONTRACTORS SHALL TAKE OVERALL CFM MEASUREMENTS ON ALL EXHAUST GRILLES AND AFFECTED EQUIPMENT PRIOR TO COMMENCING ANY WORK. INFORMATION GATHERED SHALL BE UTILIZED FOR RE-BALANCING SYSTEM. CONTRACTOR SHALL RE-BALANCE ALL CAUSED SYSTEMS AT THE CONCLUSION OF THE PROJECT.
- C. CONTRACTOR TO CAP ALL DUCTWORK OPENINGS CAUSED BY REMOVING DUCTWORK SEGMENTS, FANS OR OTHER EQUIPMENT.

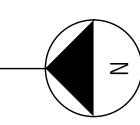
**DRAWING NOTES:**

- 1. NO WORK IN THIS AREA.
- 2. REMOVE SECTION OF DUCTWORK. SEE NEW WORK PLAN FOR NEW CONNECTION.
- 3. REMOVE EXISTING FCU, ASSOCIATED PIPE CONNECTIONS, CONTROLS, ACCESSORIES, AND DUCT CONNECTION TO LOUVER. NEW FCU TO BE CONNECTED TO EXISTING PIPING, DUCTWORK AND LOUVER IN NEW WORK PHASE.



DEMOLITION - 1 FIRST FLOOR - MECHANICAL PLAN

SCALE: 1/8" = 1'-0"



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SHEET REVISION		
REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**DEMOLITION  
FIRST FLOOR  
MECHANICAL  
PLAN**

**R-MD101**

# Xavier University Buenger Hall Renovation Phase 2

3848 Saint Francis Xavier Way  
Cincinnati, OH 45207

Project #: 17018



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MECHANICAL CONSULTANT:



**MOTZ ENGINEERING**

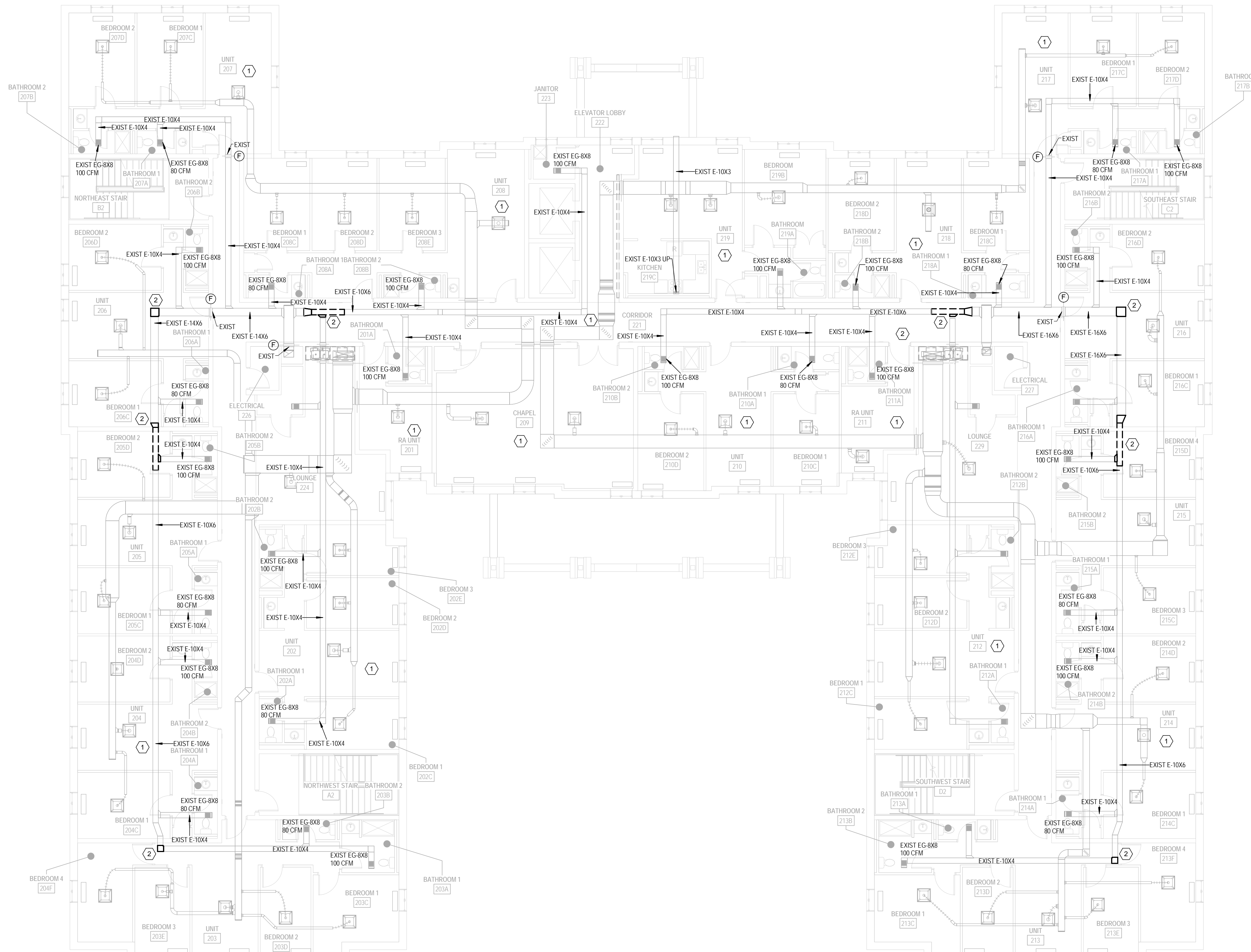
300 West 4th Street, Suite 300  
Cincinnati, OH 45202  
(513) 621-5400

**GENERAL NOTES:**

- A. UNLESS OTHERWISE NOTED, ALL DUCTWORK AND PIPING SHOWN DASHED AND DARK IS TO BE REMOVED.
- B. CONTRACTORS SHALL TAKE OVERALL CFM MEASUREMENTS ON ALL EXHAUST GRILLES AND AFFECTED EQUIPMENT PRIOR TO COMMENCING ANY WORK. INFORMATION GATHERED SHALL BE UTILIZED FOR RE-BALANCING SYSTEM. CONTRACTOR SHALL RE-BALANCE ALL AFFECTED SYSTEMS AT THE CONCLUSION OF THE PROJECT.
- C. CONTRACTOR TO CAP ALL DUCTWORK OPENINGS CAUSED BY REMOVING DUCTWORK SEGMENTS, FANS OR OTHER EQUIPMENT.

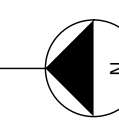
**DRAWING NOTES:** (1) (2)

- 1. NO WORK IN THIS AREA.
- 2. REMOVE SECTION OF DUCTWORK. SEE NEW WORK PLAN FOR NEW CONNECTION.



DEMOLITION - SECOND FLOOR - MECHANICAL PLAN

SCALE: 1/8" = 1'-0"



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DWG TITLE

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SHEET REVISION		
REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**DEMOLITION  
SECOND FLOOR  
MECHANICAL  
PLAN**

**R-MD102**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
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MECHANICAL CONSULTANT:



**MOTZ ENGINEERING**

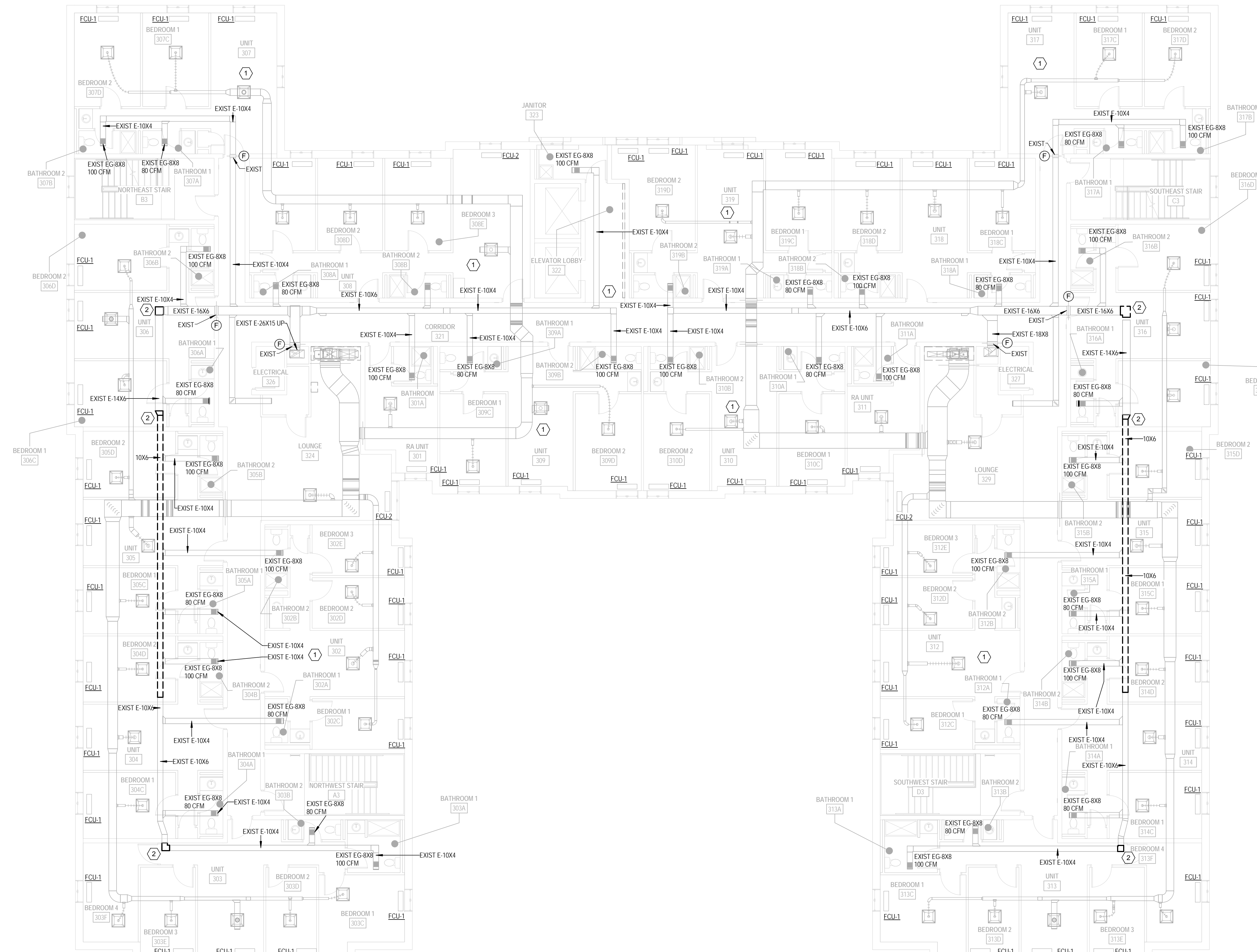
300 West 4th Street, Suite 300  
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(513) 621-5400

**GENERAL NOTES:**

- A. UNLESS OTHERWISE NOTED, ALL DUCTWORK AND PIPING SHOWN DASHED AND DARK IS TO BE REMOVED.
- B. CONTRACTORS SHALL TAKE OVERALL CFM MEASUREMENTS ON ALL EXHAUST GRILLES AND AFFECTED EQUIPMENT PRIOR TO COMMENCING ANY WORK. INFORMATION GATHERED SHALL BE UTILIZED FOR RE-BALANCING SYSTEM. CONTRACTOR SHALL RE-BALANCE ALL CAUSED SYSTEMS AT THE CONCLUSION OF THE PROJECT.
- C. CONTRACTOR TO CAP ALL DUCTWORK OPENINGS CAUSED BY REMOVING DUCTWORK SEGMENTS, FANS OR OTHER EQUIPMENT.

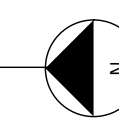
**DRAWING NOTES:** (1) (2)

- 1. NO WORK IN THIS AREA.
- 2. REMOVE SECTION OF DUCTWORK. SEE NEW WORK PLAN FOR NEW CONNECTION.



DEMOLITION - THIRD FLOOR - MECHANICAL PLAN

SCALE: 1/8" = 1'-0"



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DWG TITLE

SHEET NO.

SHEET REVISION		
REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**DEMOLITION  
THIRD FLOOR  
MECHANICAL  
PLAN**

**R-MD103**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
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MECHANICAL CONSULTANT:



**MOTZ ENGINEERING**

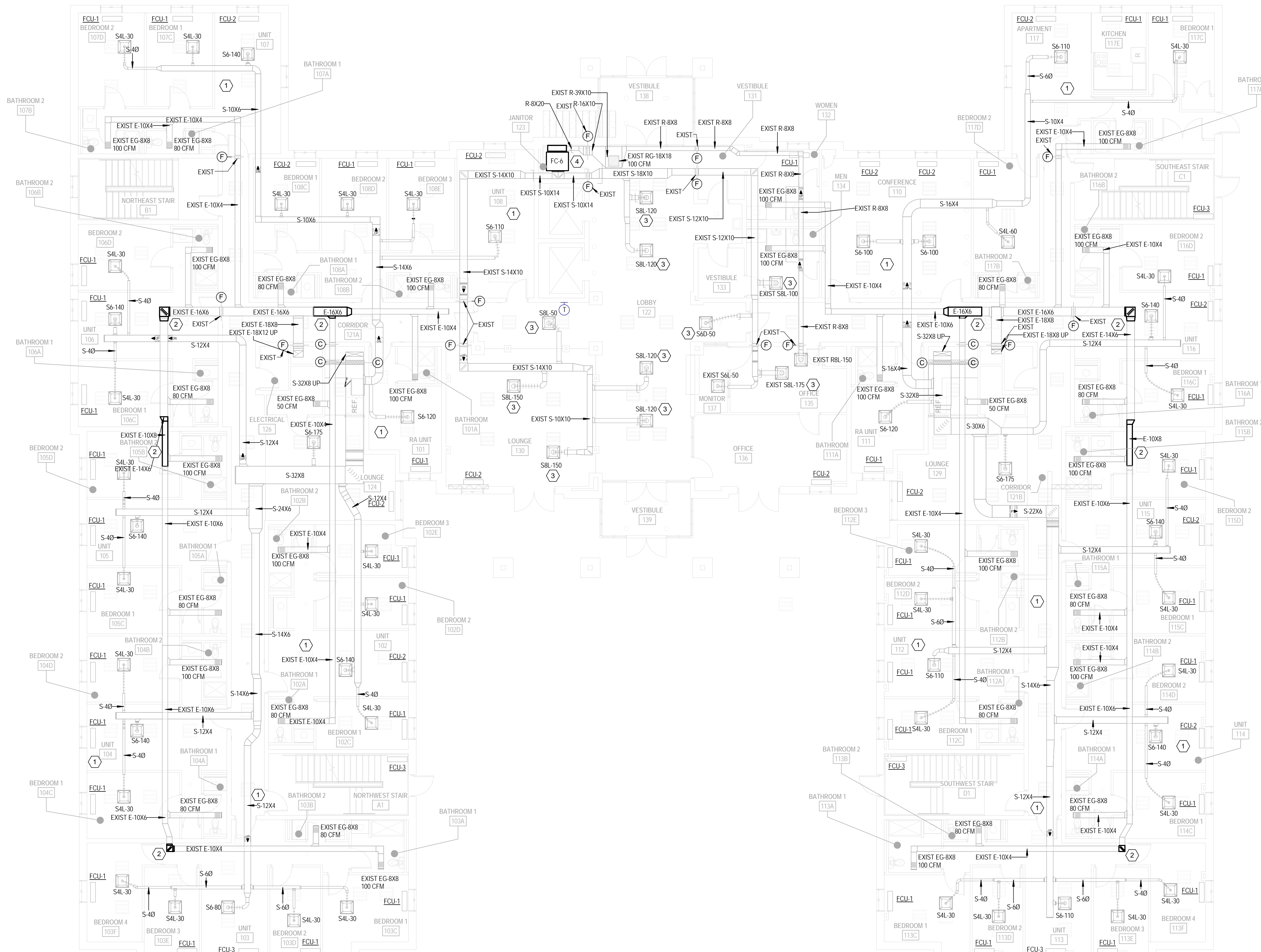
300 West 4th Street, Suite 300  
Cincinnati, OH 45202  
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**GENERAL NOTES:**

- A. UNLESS OTHERWISE NOTED, ALL DUCTWORK SHOWN DARK IS NEW.
- B. ALL WORK SHALL BE INSTALLED PER THE 2017 OHIO BUILDING CODE, 2017 OHIO MECHANICAL CODE AND ALL LOCAL APPLICABLE CODES.
- C. HVAC CONTRACTOR SHALL COORDINATE DUCTWORK LOCATIONS WITH ALL OTHER TRADES.
- D. VERIFY CONDITIONS IN THE FIELD PRIOR TO BID AND CONSTRUCTION.
- E. WHERE CONFLICTS EXIST AMONG DRAWINGS, SPECIFICATIONS AND EQUIPMENT SCHEDULES, THE MORE STRINGENT SHALL APPLY.
- F. ALL SQUARE THROATED ELBOWS SHALL HAVE AIRFOIL TURNING VANES AND SHALL ONLY BE USED WHEN RADIUS ELBOWS WILL NOT FIT.
- G. ALL DUCTWORK IS TO BE GALVANIZED, FABRICATED AND INSTALLED PER SMCA AND SECTION M-603.0 OF THE 2017 OHIO MECHANICAL CODE. DUCTS SHALL BE SUPPORTED BY APPROVED HANGERS AT INTERVALS NOT EXCEEDING TEN (10) FEET.
- H. DUCT DIMENSIONS INDICATE CLEAR INSIDE MEASUREMENTS UNLESS INDICATED OTHERWISE. VERIFY EXACT ROUTING OF ALL DUCTWORK PRIOR TO FABRICATION OR ORDERING.
- I. IN AREAS WHERE CEILINGS ARE NOT BEING REPLACED, AND CONTRACTOR HAS WORK ABOVE CEILINGS, CONTRACTOR SHALL WORK THROUGH GRID WHERE POSSIBLE AND PATCH AND REPAIR CEILINGS TO MATCH EXISTING.
- J. SEALULCAIK SPACE AROUND NEW DUCTWORK PENETRATIONS OF ALL RATED WALLS TO COMPLY WITH OBC 711.
- K. TEST, ADJUST AND BALANCE IN ACCORDANCE WITH NEBB AND ASHRAE GUIDELINES.

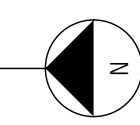
**DRAWING NOTES:**

- 1. NO WORK IN THIS AREA.
- 2. CONNECT NEW DUCTWORK TO EXISTING MAIN AND BRANCHES.
- 3. CLEAN AND BALANCE EXISTING DIFFUSER TO CFM INDICATED.
- 4. CONNECT FC-6 TO ASSOCIATED PIPE CONNECTIONS, VALVES, CONTROLS, ACCESSORIES, EXISTING LOUVER AND DUCTWORK MAIN CONNECTIONS.



NEW WORK - FIRST FLOOR - SHEET METAL PLAN

SCALE: 1/8" = 1'-0"



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**NEW WORK  
FIRST FLOOR  
SHEET METAL  
PLAN**

**R-MS101**



# Xavier University Buenger Hall Renovation Phase 2

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**MOTZ ENGINEERING**

300 West 4th Street, Suite 300  
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(513) 621-5400

## GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL DUCTWORK SHOWN DARK IS NEW.
- ALL WORK SHALL BE INSTALLED PER THE 2017 OHIO BUILDING CODE, 2017 OHIO MECHANICAL CODE AND ALL LOCAL APPLICABLE CODES.
- HVAC CONTRACTOR SHALL COORDINATE DUCTWORK LOCATIONS WITH ALL OTHER TRADES.
- VERIFY CONDITIONS IN THE FIELD PRIOR TO BID AND CONSTRUCTION.
- WHERE CONFLICTS EXIST AMONG DRAWINGS, SPECIFICATIONS AND EQUIPMENT SCHEDULES, THE MORE STRINGENT SHALL APPLY.
- ALL SQUARE THROATED ELBOWS SHALL HAVE AIRFOIL TURNING VANES AND SHALL ONLY BE USED WHEN RADIUS ELBOWS WILL NOT FIT.
- ALL DUCTWORK IS TO BE GALVANIZED, FABRICATED AND INSTALLED PER SMCA AND SECTION M-603.0 OF THE 2017 OHIO MECHANICAL CODE. DUCTS SHALL BE SUPPORTED BY APPROVED HANGERS AT INTERVALS NOT EXCEEDING TEN (10) FEET.
- DUCT DIMENSIONS INDICATE CLEAR INSIDE MEASUREMENTS UNLESS INDICATED OTHERWISE. VERIFY EXACT ROUTING OF ALL DUCTWORK PRIOR TO FABRICATION OR ORDERING.
- IN AREAS WHERE CEILINGS ARE NOT BEING REPLACED, AND CONTRACTOR HAS WORK ABOVE CEILINGS, CONTRACTOR SHALL WORK THROUGH GRID WHERE POSSIBLE AND PATCH AND REPAIR CEILINGS TO MATCH EXISTING.
- SEAL/CALK SPACE AROUND NEW DUCTWORK PENETRATIONS OF ALL RATED WALLS TO COMPLY WITH OBC 711.
- TEST, ADJUST AND BALANCE IN ACCORDANCE WITH NEBB AND ASHRAE GUIDELINES.

## DRAWING NOTES:

- NO WORK IN THIS AREA.
- CONNECT NEW DUCTWORK TO EXISTING MAIN AND BRANCHES.

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NOTES

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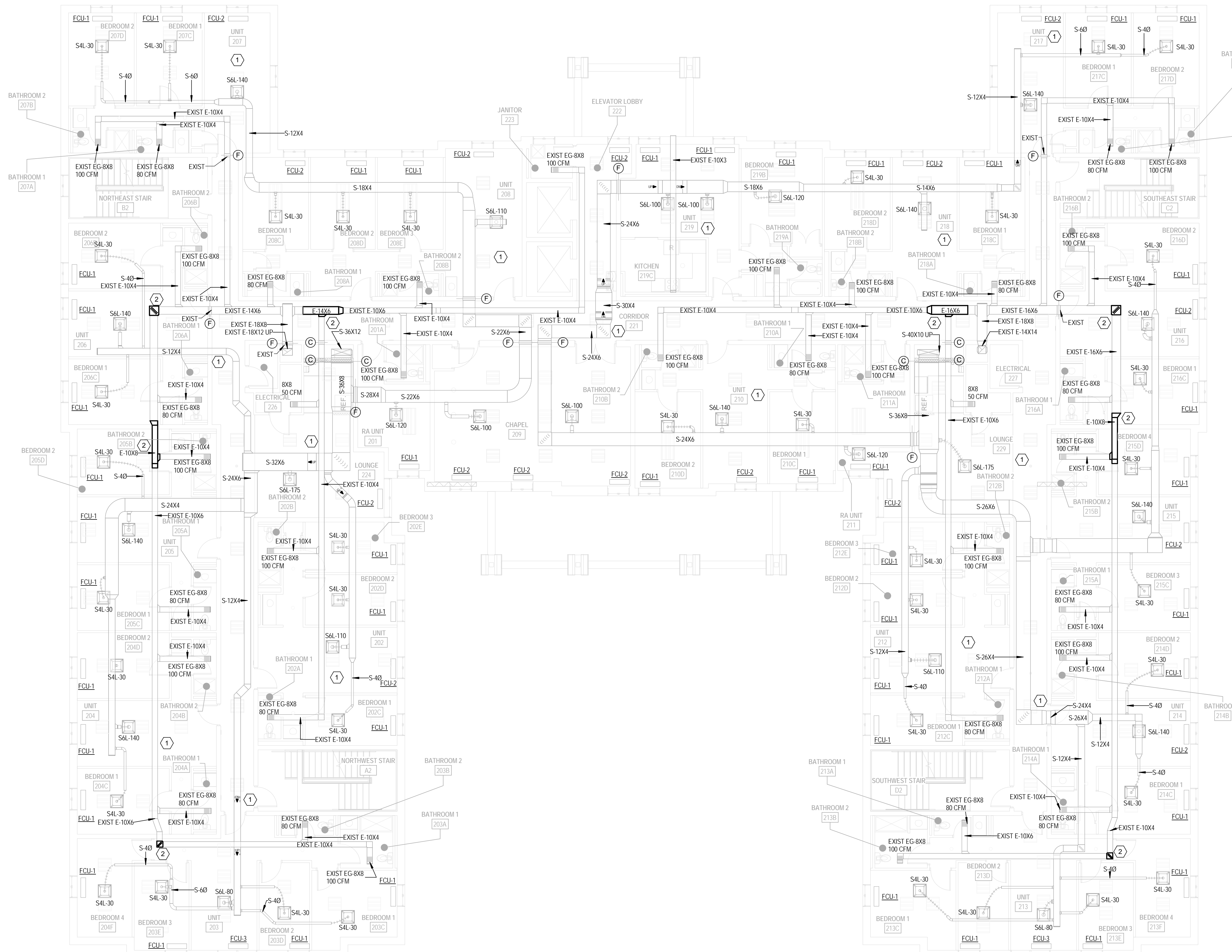
SHEET NO.

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**NEW WORK  
SECOND FLOOR  
SHEET METAL  
PLAN**

**R-MS102**



NEW WORK - SECOND FLOOR - SHEET METAL PLAN

SCALE: 1/8" = 1'-0"



**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

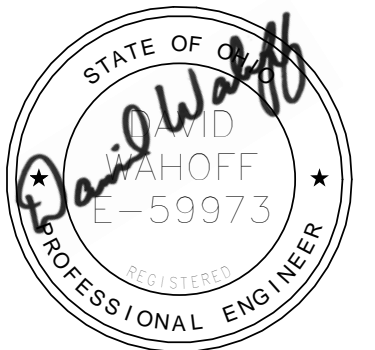
3848 Saint Francis Xavier Way  
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- D. VERIFY CONDITIONS IN THE FIELD PRIOR TO BID AND CONSTRUCTION.
- E. WHERE CONFLICTS EXIST AMONG DRAWINGS, SPECIFICATIONS AND EQUIPMENT SCHEDULES, THE MORE STRINGENT SHALL APPLY.
- F. ALL SQUARE THROATED ELBOWS SHALL HAVE AIRFOIL TURNING VANES AND SHALL ONLY BE USED WHEN RADIUS ELBOWS WILL NOT FIT.
- G. ALL DUCTWORK IS TO BE GALVANIZED, FABRICATED AND INSTALLED PER SMCA AND SECTION M-603.0 OF THE 2017 OHIO MECHANICAL CODE. DUCTS SHALL BE SUPPORTED BY APPROVED HANGERS AT INTERVALS NOT EXCEEDING TEN (10) FEET.
- H. DUCT DIMENSIONS INDICATE CLEAR INSIDE MEASUREMENTS UNLESS INDICATED OTHERWISE. VERIFY EXACT ROUTING OF ALL DUCTWORK PRIOR TO FABRICATION OR ORDERING.
- I. IN AREAS WHERE CEILINGS ARE NOT BEING REPLACED, AND CONTRACTOR HAS WORK ABOVE CEILINGS, CONTRACTOR SHALL WORK THROUGH GRID WHERE POSSIBLE AND PATCH AND REPAIR CEILINGS TO MATCH EXISTING.
- J. SEALULCAIK SPACE AROUND NEW DUCTWORK PENETRATIONS OF ALL RATED WALLS TO COMPLY WITH GBC 711.
- K. TEST, ADJUST AND BALANCE IN ACCORDANCE WITH NEBB AND ASHRAE GUIDELINES.

**DRAWING NOTES:** #

- 1. NO WORK IN THIS AREA.
- 2. CONNECT NEW DUCTWORK TO EXISTING MAIN AND BRANCHES.

**MECHANICAL CONSULTANT:**



**MOTZ ENGINEERING**

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SHEET REVISION		
REV #	DATE	DESCRIPTION
1	3/7/2018	OWNER REVIEW

ISSUE	DATE	DESCRIPTION
FCU-1	03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

**DWG TITLE**  
**NEW WORK  
THIRD FLOOR  
SHEET METAL  
PLAN**

**SHEET NO.**  
**R-MS103**

CONSULTANTS ARCHITECT

ARCHITECTS STAMP

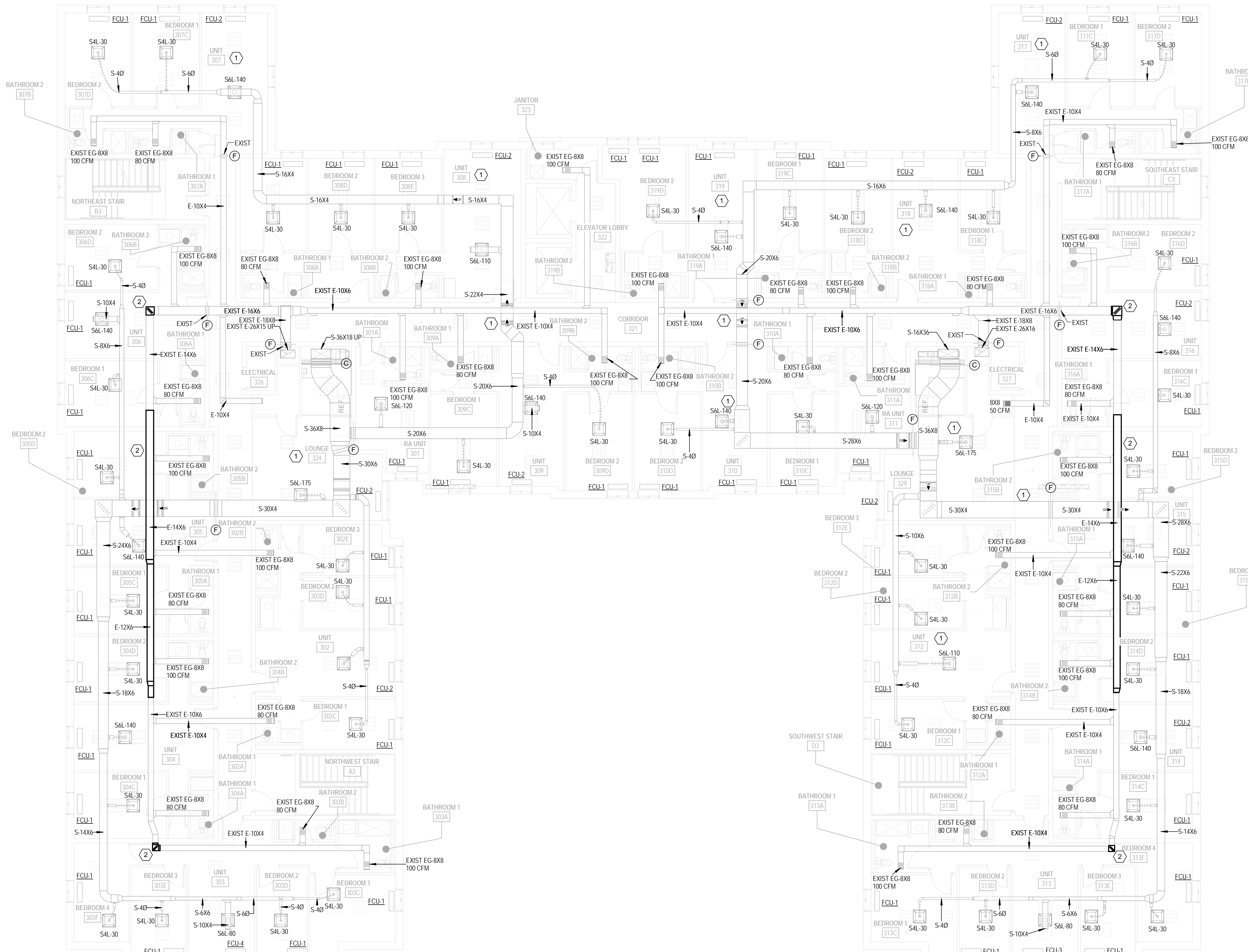
REVISION

ISSUE

NOTES

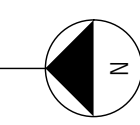
DWG TITLE

SHEET NO.



**NEW WORK - THIRD FLOOR - SHEET METAL PLAN**

SCALE: 1/8" = 1'-0"





FAN COIL UNIT SCHEDULE																														
DESIGNATION	DIMENSIONAL DATA			AIRFLOW DATA			CHILLED WATER COIL DATA							HOT WATER COIL DATA							ELECTRICAL DATA					MANUFACTURER	MODEL NO.			
	L	W	H	ACTUAL CFM	FAN SPEED	ESP IN. WG.	NO. OF ROWS	EAT (Deg F) DB	WB	EWT Deg. F	FLOW GPM	TOTAL BTUHR	SENSIBLE BTUHR	LAT (DB) Deg. F	LWT Deg. F	WPD FT. WG.	NO. OF ROWS	EAT Deg. F	EWT Deg. F	FLOW GPM	CAPACITY BTUHR	LAT Deg. F	LWT Deg. F	WPD FT. WG.	NO. OF MOTORS			FLA Amp (Est)	FLA (TOTAL)	ELEC SUPPLY VOLTS / PH / HZ
FCU-6	35.75"	40"	18.125"	1200	HIGH	0.50	4	80	67	45	10.6	53300	38950	58	54	16.3	4	65	160	10.6	109980	101	102	1.9	1	7.7	7.7	208/1/60	TRANE	BCHD036B1**A1M04

NOTE:  
1. CONTRACTOR SHALL ORDER UNIT, PIPING ARRANGEMENT TO MATCH EXISTING  
2. UNITS TO BE PROVIDED WITH METAL DRAIN PAN WITH HIGH LEVEL ALARM.  
3. ALL DUCTWORK CONNECTIONS TO UNITS SHALL BE FLEX CONNECTIONS.  
4. PROVIDE ALL FCUS WITH WALL MOUNTED THERMOSTAT AND TEMPERATURE SENSOR, PROVIDE DDC CONTROL TO BAS  
5. PROVIDE ALL FCUS WITH INTEGRAL DISCONNECT SWITCH AND MAIN FUSING

VENTILATION SCHEDULE																
Project: Buenger Hall Phase 2 3848 Saint Francis Xavier Way															Designer: BS	Engineer: DW
Unit #	Room Name	Az Area	Occupancy Classification	TBL 6-1 Occ Density peo/1000 sf	Pz Population	TBL 6-1 Rp Poo OA	TBL 6-1 Ra Area OA	Vbz OA cfm	TBL 6-2 Air Dist Eff	Voz OA Req'd	Design cfm	%OA Req'd	System %OA	Actual OA cfm		
FC-6	LOBBY	970	Main entry lobbies	10	10	5	0.06	108	0.8	136	580	23%	25%	145		
FC-6	JANITOR	33	Janitor Closet	0	0	0	0	0	0.8	0	0	0%	25%	0		
FC-6	LOUNGE	466	Main entry lobbies	10	5	5	0.06	53	0.8	67	300	22%	25%	75		
FC-6	WOMEN	264	Toilet room	0	0	0	0	0	0.8	0	0	0%	25%	0		
FC-6	MEN	230	Toilet room	0	0	0	0	0	0.8	0	100	0%	25%	25		
FC-6	OFFICE	165	Office Space	5	1	5	0.06	15	0.8	19	175	11%	25%	44		
FC-6	MONITOR	49	Office Space	5	1	5	0.06	8	0.8	10	50	20%	25%	13		
		2,177			17			184			232	1,205			245	

OUTSIDE VENTILATION AIR DESIGN PER OHIO MECHANICAL CODE 2017 IN ACCORDANCE WITH INTERNATIONAL MECHANICAL CODE SECTION 403.2

$Vbz = (Rp * Pz) * (Ra * Az)$

$Voz = Vbz / Ez$

Vbz = Breathing zone outdoor air flow  
Rp = Outdoor air flow rate per person (table 6-1)  
Pz = Zone population - maximum occupancy (table 6-1)  
Ra = Outdoor air flow rate per unit area (table 6-1)  
Az = Zone floor area

Voz = Zone outdoor air flow  
Vbz = Breathing zone outdoor air flow (calculated)  
Ez = Zone air distribution effectiveness (table 6-2)  
Ez = 0.80 (based on ceiling supply, ceiling return)

### MECHANICAL SPECIFICATIONS:

- PART 1 - GENERAL
- 1.1 GENERAL REQUIREMENTS
- A. VISIT THE SITE PRIOR TO BIDDING, EXAMINE ALL EXISTING CONDITIONS, AND VERIFY ALL DIMENSIONS. NO EXTRAS WILL BE AWARDED AFTER THE CONTRACT IS SIGNED IF CONFLICTS OR OBSTRUCTIONS BETWEEN NEW WORK AND EXISTING CONSTRUCTION ARE NOT REPORTED.
- B. SPECIFIC LOCATIONS, MOUNTING HEIGHTS AND OVERALL DIMENSIONS OF DEVICES AND FIXTURES ARE TO BE OBTAINED FROM THE ARCHITECTURAL DETAILS WHEN AVAILABLE.
- C. ALL WORK OF THIS CONTRACT SHALL BE DONE NEATLY AND PROFICIENTLY AND ONLY BY WORKERS SKILLED IN THEIR PARTICULAR CRAFT. MECHANICAL CONTRACTOR SHALL BE LICENSED AND CERTIFIED IN THE STATE OF OHIO.
- D. EXCEPT WHERE MODIFIED BY SPECIFIC NOTATION TO THE CONTRARY, IT SHALL BE UNDERSTOOD THAT THE INDICATION AND/OR DESCRIPTION OF ANY ITEM IN THE DRAWINGS, SPECIFICATIONS, OR BOTH CARRIES WITH IT THE INSTRUCTION TO FURNISH AND INSTALL THE ITEM, REGARDLESS OF WHETHER OR NOT THIS INSTRUCTION IS EXPLICITLY STATED AS PART OF THE INDICATION OR DESCRIPTION.
- 1.2 SCOPE OF WORK
- A. PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND SERVICES NECESSARY FOR THE INSTALLATION OF ALL SYSTEMS AS INDICATED ON THE DRAWINGS.
- B. WORK INCLUDES, BUT IS NOT LIMITED TO:
- FURNISH AND INSTALL (1) FAN COIL UNIT, ALL ASSOCIATED PIPING AND CONTROLS. MAKE CONNECTIONS TO EXISTING SYSTEM.
  - FURNISH AND INSTALL NEW DUCTWORK, PIPING, AND INSULATION.
  - BALANCE ASSOCIATED DIFFUSERS, NEW FAN COIL UNIT AND THE ENTIRE EXISTING RTU-1.
- 1.3 CONTRACT DRAWINGS
- A. THE DRAWINGS ARE ILLUSTRATIVE ONLY AND ARE NOT WARRANTED BY THE DESIGN TEAM OR OWNER TO REPRESENT SPECIFIC OR EXACT CONDITIONS OR DIMENSIONS.
- B. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO INDICATE THE ACCEPTABLE MATERIALS AND CONSTRUCTION METHODS TO BE UTILIZED ON THIS PROJECT. MATERIALS AND/OR METHODS THAT ARE NOT LISTED ON THE DRAWINGS OR IN THE SPECIFICATIONS ARE NOT ACCEPTABLE UNLESS PRIOR WRITTEN AUTHORIZATION IS OBTAINED FROM ENGINEER.
- 1.4 CODES, STANDARDS AND TESTS
- A. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY IN ACCORDANCE WITH 2017 OHIO BUILDING CODE (OBC) INCLUDING REFERENCED CODES AND STANDARDS. MATERIALS PROVIDED SHALL BE LISTED FOR INTENT OF USE, NEW AND DEFECT FREE. MECHANICAL MATERIALS SHALL BE U.L. LISTED AND COMPLY WITH ALL OMC STANDARDS.
- B. ALL SYSTEMS AND COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE, COUNTY AND LOCAL CODES AND REGULATIONS.
- C. ALL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH STATE, COUNTY, LOCAL, OWNER'S AND ENGINEER'S REQUIREMENTS.
- D. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST VERSION OF THE OHIO MECHANICAL CODE.

### PIPING SUMMARY

TYPE/APPLICATION	STANDARDS	INSULATION
COPPER	ASTM B 88, TYPE L	MINERAL-FIBER, ASTM C 921

### VALVES SUMMARY

- BALL VALVES
- A. 400 PSI WOG, 150 PSI STEAM, BUBBLE-TIGHT AGAINST 100 PSI, CAST BRONZE BODY, SELF-ALIGNING FREE FLOATING STAINLESS STEEL BALL AND STEM WITH FULL FLOW PORT, NON-RISING STEM, TEFLON SEAT AND BODY SEAL, QUARTER TURN OPERATION, SOLDER JOINT OR SCREWED ENDS, VALVES TO INCLUDE MEMORY STOP AND STEM EXTENSIONS FOR INSULATED PIPING.
- DRAIN VALVES WITH HOSE FITTING, DUST COVER AND CHAIN ATTACHMENT: APOLLO NO. 79-144
  - ALL OTHER VALVES: APOLLO NO. 77-140/240
  - MANUFACTURERS:
    - APOLLO (BASIS OF DESIGN)
    - HAMMOND
    - MILWAUKEE
    - NIBCO
    - WATTS
    - VICTAULIC CO. OF AMERICA

### DUCTWORK SUMMARY

TYPE/APPLICATION	SERVES	PRESSURE CLASS	INSULATION
SUPPLY	ALL	2" WC	2" FG INSULATION (MIN. R-8)
RETURN	ALL	2" WC	2" FG INSULATION (MIN. R-8)
EXHAUST	ALL	2" WC	2" FG INSULATION (MIN. R-8)

### DUCTWORK JOINTS SUMMARY

- CONTRACTOR SHALL USE ON OF THE FOLLOWING:
- | TYPE           | STANDARD     | DESCRIPTION  |
|----------------|--------------|--|
| WATER-BASED    | UL 181 A & B | FLEXIBLE, MEETS NFPA REQUIREMENTS FOR CLASS 1 DUCT             |
| SOLVENT-BASED  | N/A          | 75% SOLIDS, ONE-PART, NON-SAG, POLYMERIZED BUTYL SEALANT       |
| FLANGED MASTIC | ASTM C 920   | ONE-PART, ACID-CURING-SILICONE, MEETS ASTM C 920 TYPE 2, NS 25 |

### DUCTWORK ACCESSORIES SUMMARY

- TURNING VANES
- A. FABRICATE TO COMPLY WITH THE MOST CURRENT VERSION OF SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE" FOR VANES AND VANE RUNNERS. VANE RUNNERS SHALL AUTOMATICALLY ALIGN VANES.
- B. MANUFACTURED TURNING VANES: FABRICATE 1-1/2 INCH WIDE, AIRFOIL-VANE, CURVED BLADES OF GALVANIZED SHEET STEEL SET 3/4 INCH O.C.; SUPPORT WITH BARS PERPENDICULAR TO BLADES SET 2 INCHES O.C.; AND SET INTO VANE RUNNERS SUITABLE FOR DUCT MOUNTING.
- MANUFACTURERS:
    - DUCTMATE INDUSTRIES, INC.
    - DURO DYNE CORP.
    - METALAIRE, INC.
- VOLUME DAMPERS
- A. MANUFACTURERS:
- AIR BALANCE, INC.
  - AMERICAN WARMING AND VENTILATING
  - LINDAB (MEDIUM VELOCITY BASIS OF DESIGN)
  - MCGILL AIRFLOW CORPORATION

### DUCTWORK ACCESSORIES SUMMARY (CONT'D)

- METALAIRE, INC.
  - RUSKIN COMPANY (LOW VELOCITY BASIS OF DESIGN)
- B. GENERAL DESCRIPTION: FACTORY FABRICATED, WITH REQUIRED HARDWARE AND ACCESSORIES. STIFFEN DAMPER BLADES FOR STABILITY. INCLUDE DIAL TYPE QUADRANT HANDLE LOCKING DEVICE TO HOLD SINGLE-BLADE DAMPERS IN A FIXED POSITION WITHOUT VIBRATION. CLOSE DUCT PENETRATIONS FOR DAMPER COMPONENTS TO SEAL DUCT CONSISTENT WITH PRESSURE CLASS. PROVIDE STAND-OFF ASSEMBLY FOR ALL BALANCING DAMPERS THAT ARE INSTALLED IN INSULATED DUCTS.
- C. STANDARD VOLUME DAMPERS: SINGLE-BLADE UP TO 6" BLADE WIDTH AND OPPOSED MULTI-BLADE ON 6" AND LARGER BLADE WIDTH, STANDARD LEAKAGE RATING, AND SUITABLE FOR HORIZONTAL OR VERTICAL APPLICATIONS.
- STEEL FRAMES: 22 GAUGE, HAT-SHAPED, GALVANIZED SHEET STEEL CHANNELS, WITH MITERED AND WELDED CORNERS, FRAMES WITH FLANGES WHERE INDICATED FOR ATTACHING TO WALLS AND FLANGELESS FRAMES WHERE INDICATED FOR INSTALLING IN DUCTS.
  - ROLL-FORMED STEEL BLADES: 22 GAUGE GALVANIZED SHEET STEEL.
  - BLADE AXLES: GALVANIZED STEEL.
  - BEARINGS: MOLDED SYNTHETIC.
  - TIE BARS AND BRACKETS: ALUMINUM.
  - TIE BARS AND BRACKETS: GALVANIZED STEEL.
- D. LOW VELOCITY RECTANGULAR: RUSKIN MODEL MD25
- E. LOW VELOCITY ROUND: RUSKIN MODEL MDRS25
- F. MEDIUM VELOCITY ROUND: LINDAB MODEL DRU

### DUCT MOUNTED ACCESS DOORS

- A. GENERAL DESCRIPTION: FABRICATE DOORS AIRTIGHT AND SUITABLE FOR DUCT PRESSURE CLASS.
- B. DOOR: DOUBLE WALL, DUCT MOUNTING, AND RECTANGULAR; FABRICATED OF GALVANIZED SHEET METAL WITH INSULATION FILL AND THICKNESS AS INDICATED FOR DUCT PRESSURE CLASS. INCLUDE PIANO HINGE AND CAM LATCHES.
- MANUFACTURERS:
    - AMERICAN WARMING AND VENTILATING.
    - CESCO PRODUCTS.
    - DUCTMATE INDUSTRIES, INC.
    - GREENHECK.
    - MCGILL AIRFLOW CORPORATION.
  - FRAME: GALVANIZED SHEET STEEL, WITH BEND-OVER TABS AND FOAM GASKETS.
  - PROVIDE NUMBER OF HINGES AND LOCKS AS FOLLOWS:
    - LESS THAN 12 INCHES SQUARE: SECURE WITH TWO (2) SASH LOCKS.
    - UP TO 18 INCHES SQUARE: TWO (2) SASH LOCKS.
    - UP TO 24 BY 48 INCHES: SECURE WITH TWO (2) COMPRESSION LOCKS.
  - SEAL AROUND FRAME ATTACHMENT TO DUCT AND DOOR TO FRAME WITH NEOPRENE OR FOAM RUBBER.
  - INSULATION: 1-INCH THICK, FIBROUS-GLASS OR POLYSTYRENE-FOAM BOARD.

## Xavier University Buenger Hall Renovation Phase 2

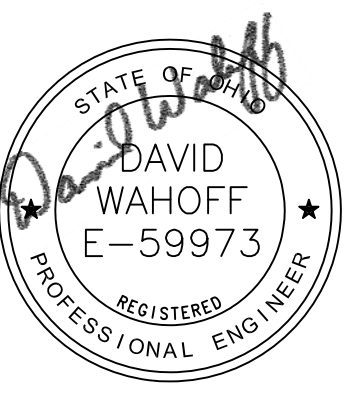
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Cincinnati, OH 45207

Project #: 17018



304 East Eighth  
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### MECHANICAL CONSULTANT:



## MOTZ ENGINEERING

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SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

NOTES

## MECHANICAL SCHEDULES AND SPECIFICATIONS

# R-M400

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

3848 Saint Francis Xavier Way  
Cincinnati, OH 45207

Project #: 17018



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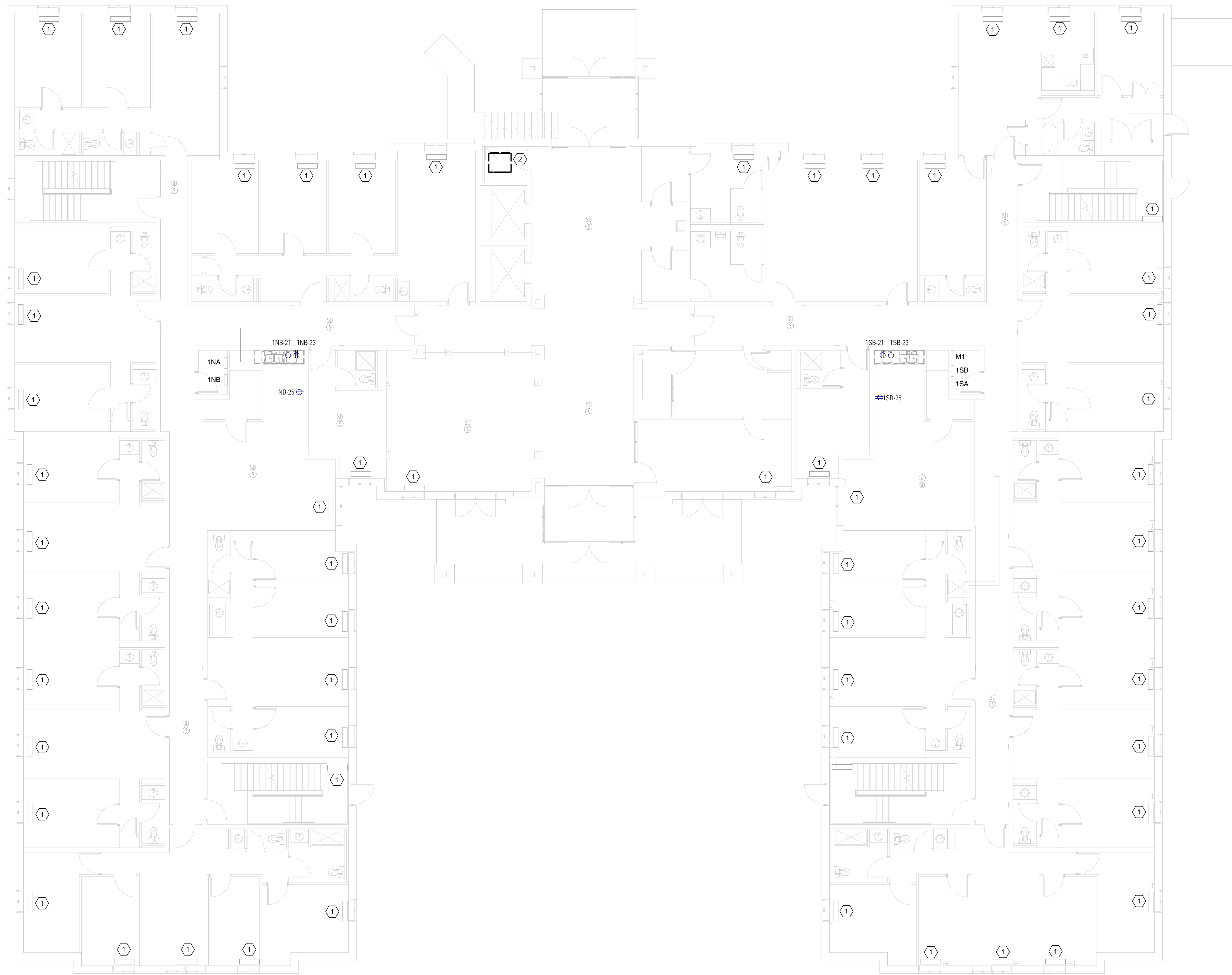
**GENERAL NOTES:**

A. UNLESS OTHERWISE NOTED, NO WORK TO BE PERFORMED ON EXISTING ELECTRICAL DEVICES, SUCH AS RECEPTACLES.

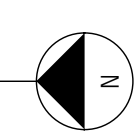
**DRAWING NOTES:** (#)

1. NO WORK TO BE PERFORMED IN THIS AREA.

2. EXISTING FAN COIL UNIT TO BE REMOVED. ASSOCIATED WIRING TO REMAIN FOR RE-USE. SEE SHEET EP101 FOR MORE INFORMATION.



DEMOLITION - FIRST FLOOR - POWER PLAN  
SCALE: 1/8" = 1'-0"



CONSULTANTS ARCHITECT

ARCHITECT'S STAMP

REVISION

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NOTES

DWG TITLE

SHEET NO.

SHEET REVISION		
REV #	DATE	DESCRIPTION

DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

**DEMOLITION  
FIRST FLOOR  
POWER PLAN**

**R-EPD101**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

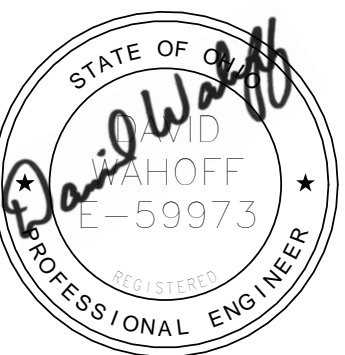
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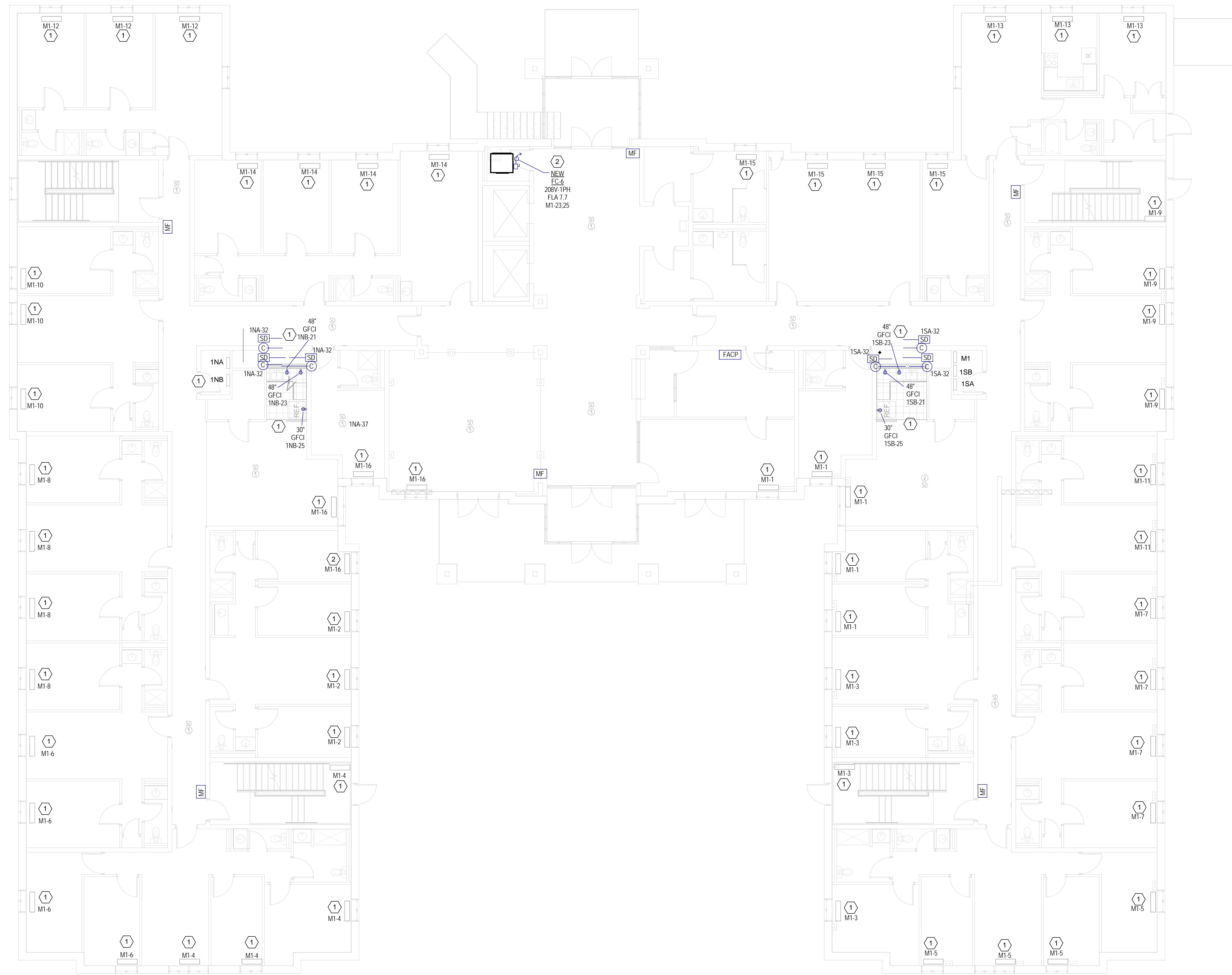
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**GENERAL NOTES:**

- A. UNLESS OTHERWISE NOTED, EXISTING FIRE ALARM DEVICES ARE TO REMAIN.

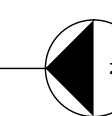
**DRAWING NOTES:** (#)

1. NO WORK TO BE PERFORMED IN THIS AREA.
2. CONNECT FAN COIL UNIT TO NEW CIRCUIT. REFER TO PANEL SCHEDULE FOR CIRCUIT AMPERAGE.



NEW WORK - FIRST FLOOR - POWER PLAN

SCALE: 1/8" = 1'-0"



SHEET REVISION		
REV #	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

NOTES

DWG TITLE  
**NEW WORK  
FIRST FLOOR  
POWER PLAN**

SHEET NO.  
**R-EP101**

**Xavier University  
Buenger Hall  
Renovation  
Phase 2**

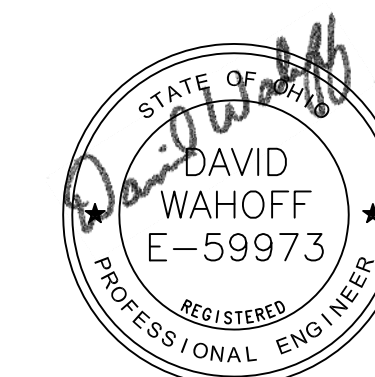
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**MECHANICAL CONSULTANT:**



**MOTZ ENGINEERING**

300 West 4th Street, Suite 300  
Cincinnati, OH 45202  
(513) 621-5400

PANEL: M1		208/120V, 3PH, 4W	
LOCATION: 1ST FLOOR SOUTH ELECTRICAL CLOSET		MAIN SIZE: 225A	
MOUNTING: SURFACE MOUNT		MAIN TYPE: MCB	
NOTES:			
+ NEW CIRCUIT BREAKER		EXISTING TO REMAIN	
# GFI CIRCUIT BREAKER		FEED THRU LUGS	
~ AFCI CIRCUIT BREAKER			
		KVA	KVA
1	FAN COIL UNITS	15/1 1.58	A 0.95 15/1
3	FAN COIL UNITS	15/1 1.27	B 0.95 15/1
5	FAN COIL UNITS	15/1 1.27	C 1.27 15/1
7	FAN COIL UNITS	15/1 1.27	A 1.27 15/1
9	FAN COIL UNITS RM 116	15/1 0.95	B 0.95 15/1
11	FAN COIL UNITS	15/1 0.63	C 0.95 15/1
13	FAN COIL UNITS	15/1 0.95	A 1.27 15/1
15	FAN COIL UNITS	15/1 1.27	B 1.27 15/1
17	SPARE	20/1 0.00	C 0.00 20/1
19	SPARE	30/2 0.00	A 0.00 20/1
21		0.00	B 0.00
23	FC-6	1.00	C 0.00
25		1.00	A 0.00
27	SPACE	0.00	B 0.00
29	SPACE	0.00	C 0.00
31	SPACE	0.00	A 0.00
33	SPACE	0.00	B 0.00
35	SPACE	0.00	C 0.00
37	SPACE	0.00	A 0.00
39	SPACE	0.00	B 0.00
41	SPACE	0.00	C 0.00
AMPS PER PHASE:		69.0	55.34 42.63
LOAD TYPE	CONNECTED KVA	DEMAND KVA	
LIGHT @ 125%	0.0	0.0	
RECPT. (100% 1st 10KVA + 50% REMAINING)	0.0	0.0	
MOTOR (100% + 25% OF LARGEST)	20.0	20.4	
EQUIPMENT NON-CONTINUOUS, (100%)	0.0	0.0	
EQUIPMENT CONTINUOUS, (125%)	0.0	0.0	
HEAT (100%)	0.0	0.0	
KITCHEN	0.0	0.0	
TOTAL KVA	20.0	20.4	
TOTAL AMPS	55.7	56.8	

**PANEL SCHEDULE LEGEND**

--	--	--	M1
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REVISION

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REV #	DATE	DESCRIPTION

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DATE	DESCRIPTION
03/21/2018	CONSTRUCTION DOCUMENTS

NOTES

DWG TITLE

**PANEL  
SCHEDULES  
FIRST FLOOR**

SHEET NO.

**R-E500**